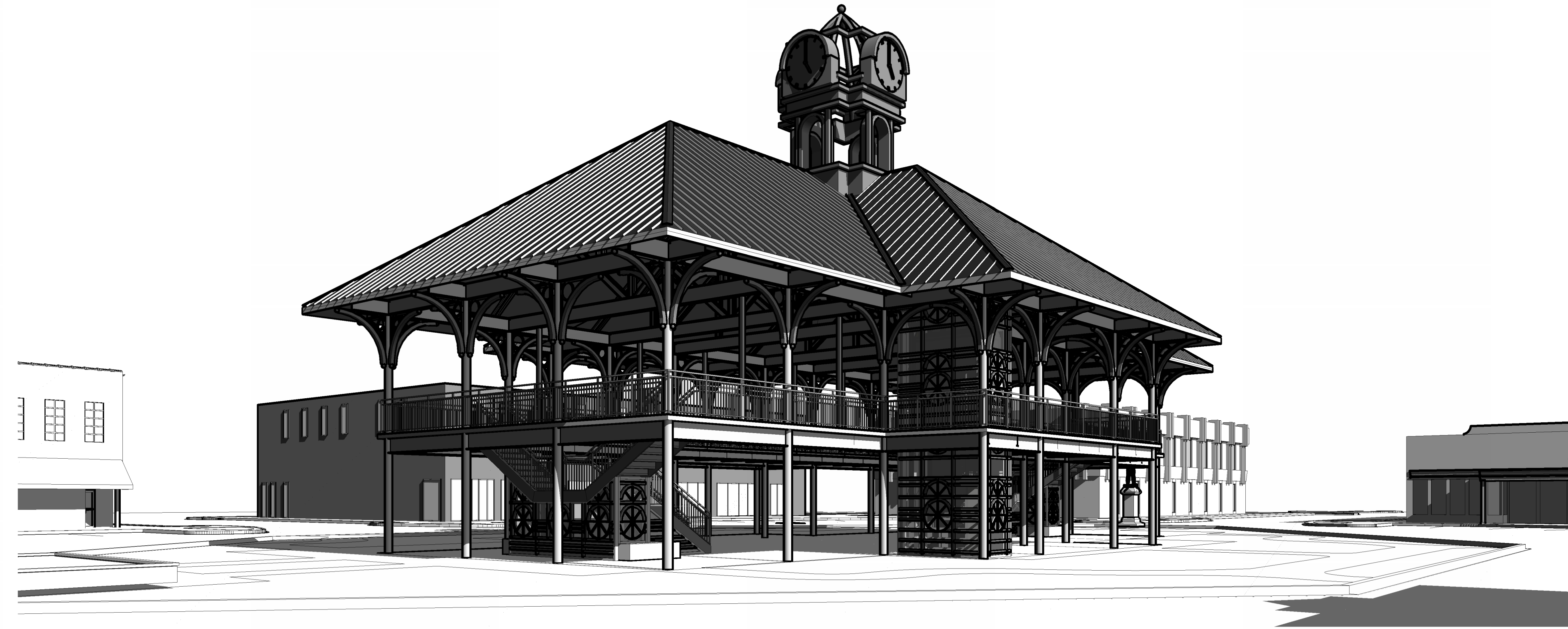


CITY OF LAWRENCEBURG

LAWRENCEBURG TOWN CENTER PAVILION



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812.282.3700
www.owp.com

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Lawrenceburg, TN

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OWP PROJECT NO. DATE OF ISSUE
2023_071 07.28.2023

REVISIONS	DELTA	DESCRIPTION	DATE

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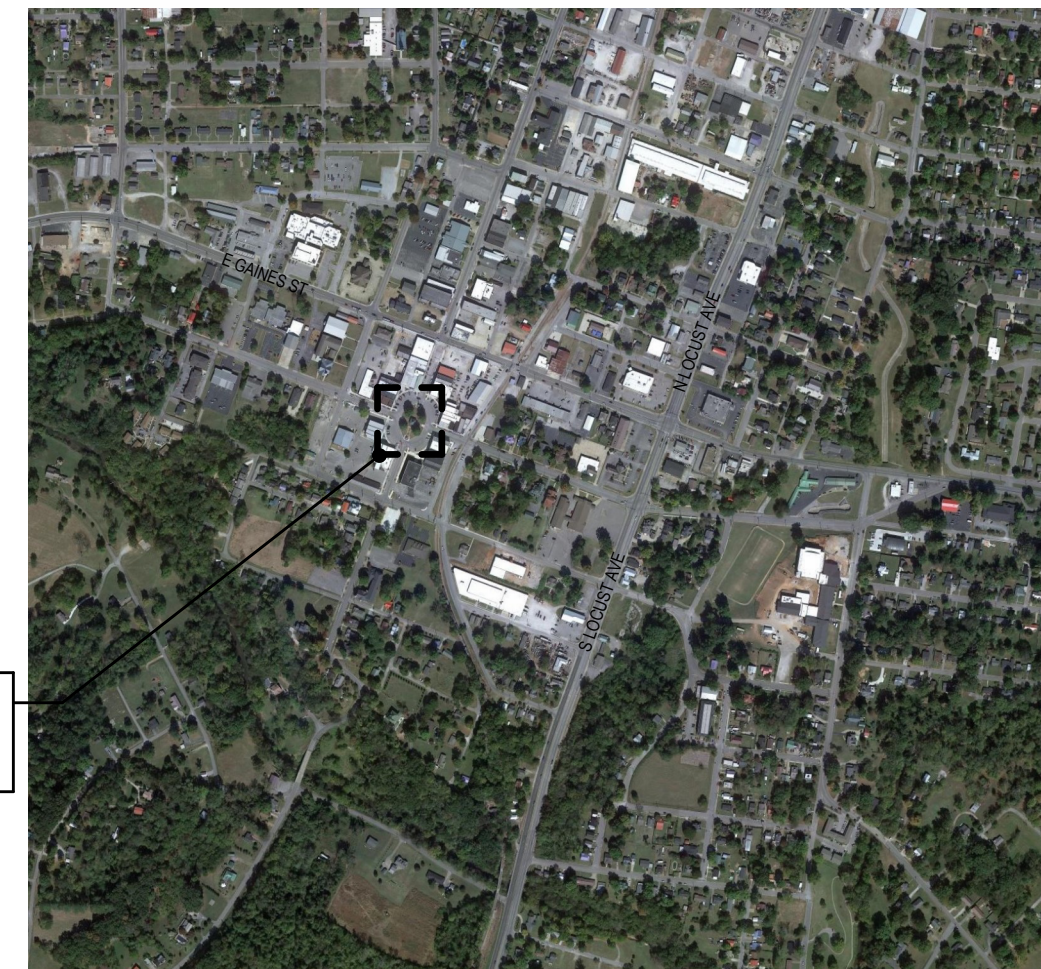
SHEET CONTENTS
TITLE SHEET

SHEET NO.
G-001

CONSULTANT INFO

Structural Design Company
217 Ward Circle
Brentwood, Tennessee 37027
Linwood Schultz
lschultz@tdc.com
(615) 661-7979

VICINITY MAP



Lawrenceburg Town Square
15 Public Square
Lawrenceburg, TN 38464

SHEET INDEX

SHEET INDEX - GENERAL

SHEET #	DESCRIPTION	REV. DELTA #	REV. DATE
G-001	TITLE SHEET		
G-003	CODE INFORMATION		

SHEET INDEX - ARCH SITE

SHEET #	DESCRIPTION	REV. DELTA #	REV. DATE
AS100	ARCHITECTURAL SITE PLAN		
AS102	ARCHITECTURAL HARDSCAPE SITE PLAN		

SHEET INDEX - ARCH

SHEET #	DESCRIPTION	REV. DELTA #	REV. DATE
A-301	3D - PERSPECTIVE		
A-302	3D - PERSPECTIVE		
A-101	LEVEL 01 DIMENSION PLAN		
A-102	LEVEL 02 DIMENSION PLAN		
A-131	ROOF PLAN		
A-132	ROOF STRUCTURE		
A-133	ROOF STRUCTURE		
A-201	BUILDING ELEVATIONS		
A-202	BUILDING ELEVATIONS		
A-203	BUILDING ELEVATIONS		
A-204	BUILDING ELEVATIONS		
A-301	BUILDING SECTIONS		
A-302	BUILDING SECTIONS		
A-311	WALL SECTIONS		

SHEET INDEX - ELEC

SHEET #	DESCRIPTION	REV. DELTA #	REV. DATE
A-E 1	LEVEL 01 ELECTRICAL PLAN		
A-E 2	LEVEL 02 ELECTRICAL PLAN		

SHEET INDEX - MECH

SHEET #	DESCRIPTION	REV. DELTA #	REV. DATE
A-M 1	LEVEL 01 MECHANICAL PLAN		
A-M 2	LEVEL 02 MECHANICAL PLAN		

SHEET INDEX - PLUMB

SHEET #	DESCRIPTION	REV. DELTA #	REV. DATE
A-P 1	LEVEL 01 PLUMBING PLAN		
A-P 2	LEVEL 02 PLUMBING PLAN		

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SHEET CONTENTS
CODE INFORMATION

SHEET NO.
G-003

PROJECT DATA

Project: Lawrenceburg Town Center Pavilion
15 Public Square • Lawrenceburg, Tennessee 38464
Owner: Blake Lay, Mayor of Lawrenceburg • 25 Public Square • Lawrenceburg, Tennessee 38464
Contact: Dick McKinley • dmckinley@lawrenceburgtn.gov • (931) 762-4459 phone
Architect: Orcutt | Winslow + Teg | 903 Spring St • Jeffersonville, Indiana 47130 Project Number: 2023_071
Contact: Robert Graff • rgrafl@owp.com • 812.282.3700 phone
Contractor: Evers Construction Co. Inc. • 1014 N Locust Avenue • Lawrenceburg, Tennessee 38464
Contact: Clint Evers • cevers@eversconstructionco.com • (931) 279-0188 phone • (931) 762-9459 fax

GOVERNING CODES AND AGENCIES

- Tennessee State Uniform Construction Code:
- 2012 International Building Code (IBC) - Amended
- 2012 International Mechanical Code (IMC) - Not Amended
- 2012 National Fire Protection Association 1 (NFPA 1) - Amended
- 2012 International Plumbing Code (IPC) - Not Amended
- 2017 Tennessee Electrical Code (TEC)
- 2012 International Fuel Gas Code (IFGC) - Not Amended
- 2012 National Fire Protection Association 101 (NFPA 101) - Not Amended
- 2010 ADA Standards for Accessibility Design
- 2012 International Energy Conservation Code (IECC) - Amended

NEW CONSTRUCTION CODE DATA

Statement of Building Use: Farmers Market, Community Assembly, etc.
Primary Occupancy Group: A Construction Type: Type II-B

Structure: Steel frame structural system with concrete & metal pan deck at floor.
Total floor thickness = 5"
Fire Protection: Dry Automatic Sprinkler System provided throughout.
All steel columns and beams shall be sprayed with fireproofing material for ratings shown below.

New Construction Area:

Story	Net Building Area	Occupancy Group	Occupants	Construction Type
First Floor	4,620 sq. ft.	A-3	924	Type II-B
Second Floor	2,169 sq. ft.	A-3	434	Type II-B
New Building Area	6,789 sq.ft.		1,358	

Allowable Building Area: 9,500 sq. ft. per Story with Two Stories
Building Height: Maximum 55 foot Actual Height Per IBC Table 503
Allowable 75 foot Height with 20 foot increase per Section 504
Maximum 2 Stories Actual Height
Allowable 3 Story height with 1 Story increase per Section 504

OCCUPANCY LOAD AND MEANS OF EGRESS

Per IBC Section 1004

Description	Group	Occupancy	Occupant Load Factor (sq. ft./person)	Area (sq. ft.)	Occupants
1 Multi-Use (Outdoor)	A-3	Standing Space	5 net	4,620 sq. ft.	924
2 Mezzanine (Outdoor)	A-3	Standing Space	5 net	2,169 sq. ft.	434
Total				6,789 sq.ft.	1,358

Egress Width Requirements: Per Section 1005

Level	Occupancy	Egress Width Per Person Exits Req'd	Width Required	Number of Exits, Width Provided
Stairways		0.30 inches	2	130 inches 4stairways = 162"

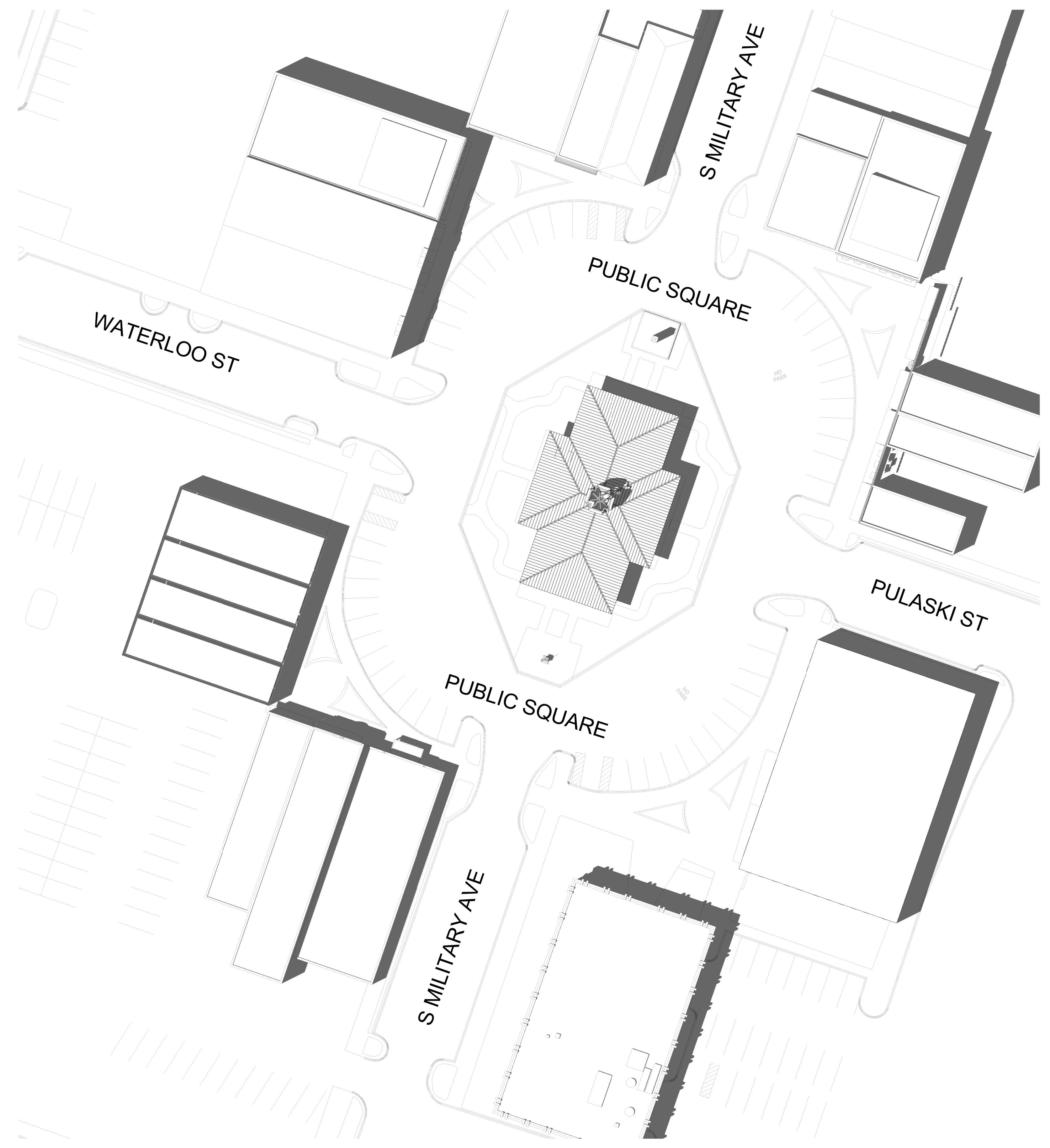
Exits Required: Per IBC Section 1015
2 exits are required in any area over 49 occupants, remotely located from each other by 1/3 diagonal distance of the area.
3 exits are required for any area over 501 occupants (First Floor only; 2 Exit Stairs required from Second Floor).

Travel Distance: Per IBC Table 1016.2, Sections 1014.3, 1018.4
Maximum Path of Travel shall not exceed 250 feet from any point to an Exit.
Common Path of Egress Travel shall not exceed 75 feet. Dead Ends shall not exceed 50 feet.
Maximum Path of Travel shall not exceed 200 feet from any point to an Exit. Common Path of Egress Travel shall not exceed 75 feet.

Corridor Construction: N/A

Fire Resistive Requirements for Building Elements:

Element	Type/Requirement	Per Table
Primary Structural Frame	0	601
Primary Structural Frame & Bearing Walls - Roof Only	0	
Bearing Walls - Exterior	N/A	
Bearing Walls - Interior	N/A	
Nonbearing Walls & Partitions - Exterior	X < 5	Per Table 602
Per Fire Separation Distance X	5 <= X < 10	N/A
	10 <= X < 30	N/A
	X >= 30	N/A
Nonbearing Walls & Partitions - Interior	0	
Floors, Floor-Ceilings and Associated Secondary Members	0	
Roof, Roof-Ceilings and Associated Secondary Members	0	
Shaft Enclosures	N/A	Per IBC Sections 713, 717
Exit Stairway/Exit Passageway Construction	0	Per IBC Sections 1009, 1022, 1026



SITE PLAN
 0 32' 64' 96'
 1/32" = 1'-0"

- GENERAL SHEET NOTES**
- Contractor shall remove all existing vegetation, site improvements, etc. whether or not specifically indicated on the drawings to facilitate the completion of all required new work. Contractor shall visit the site and verify all quantities and items that are required to be removed prior to submittal of this proposal.
 - Slope all grades and pavement away from building(s) to provide positive drainage, unless noted otherwise.
 - Finish grade at sidewalks, buildings, etc., as required to provide smooth transition to grade.
 - Angles indicated are 45 degrees unless noted otherwise.
 - Construction debris shall be removed from the site on a continuing basis for the duration of construction.
 - Concrete walks shall have expansion joints at a maximum spacing of 20 feet O.C. and control joints at 5 feet O.C., unless noted otherwise.
 - Perform all clearing, grubbing and earthwork in accordance with the Geotechnical Report, unless more restrictive requirements exist.
 - Should slopes of greater than 1:20 (5%) occur at pavement locations, notify architect immediately.
 - All proposed imported fill material shall be tested by a qualified testing agency to verify that it meets all specification requirements prior to placing on site.
 - Dimensions are to outside face of stem walls/foundations unless noted otherwise.
 - All areas disturbed by construction, staging, etc. shall be restored to their original condition by the General Contractor. General Contractor is responsible for documenting original condition.
 - All sidewalks at building entryways shall be "keyed" into building slab to prevent differential movement.

REFERENCE KEYNOTES

SHEET KEYNOTES

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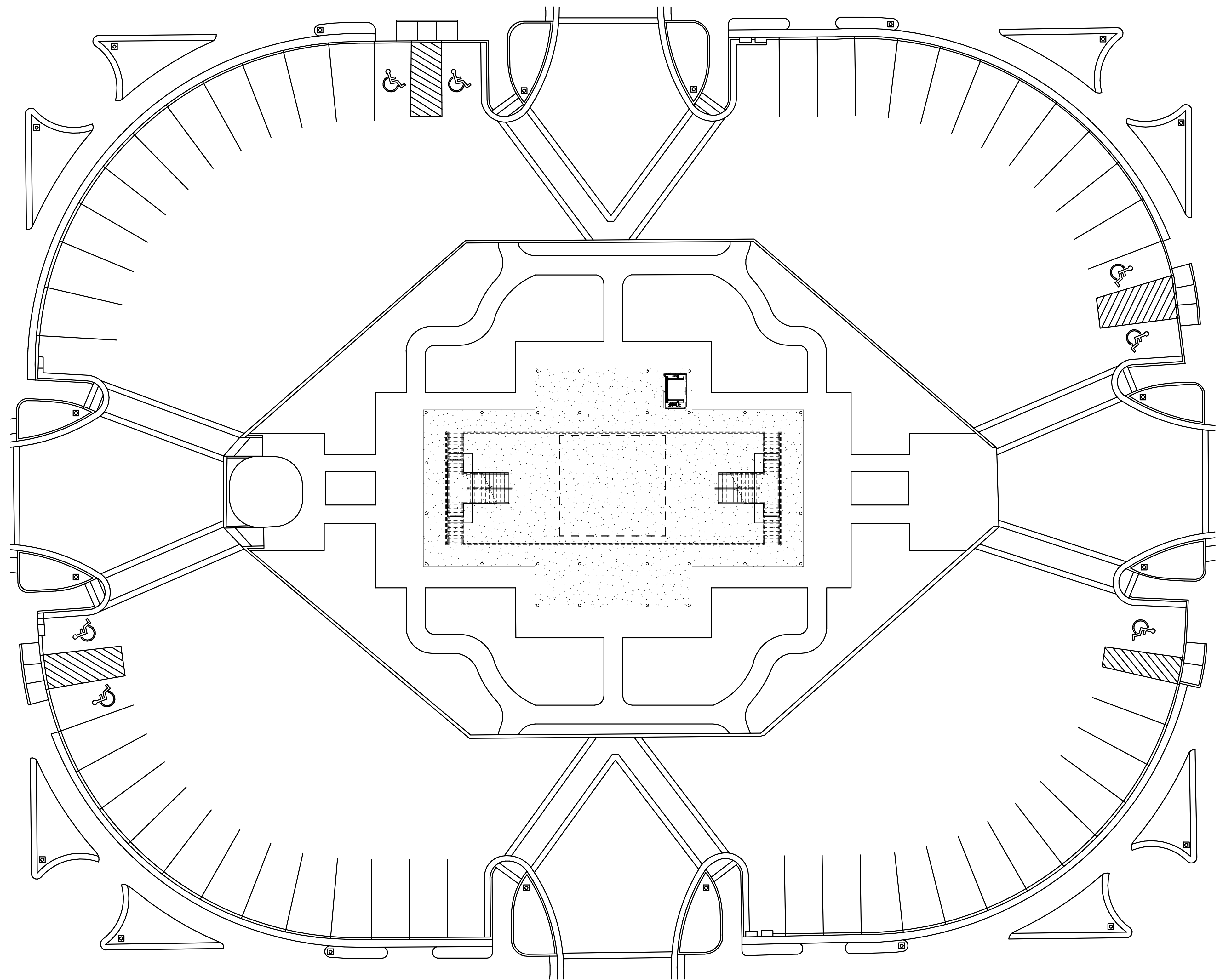
PROJECT TEAM HEALTHCARE **DRAWN BY** RG

PROJECT PHASE SCHEMATIC DESIGN

SHEET CONTENTS ARCHITECTURAL SITE PLAN

SHEET NO. AS100

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SITE HARDSCAPE PLAN

0 16' 32' 48'

1/16" = 1'-0"

N

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PROJECT PHASE
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SHEET CONTENTS
 ARCHITECTURAL
 HARDSCAPE SITE PLAN

SHEET NO.
AS102



1 3D - Exterior Perspective

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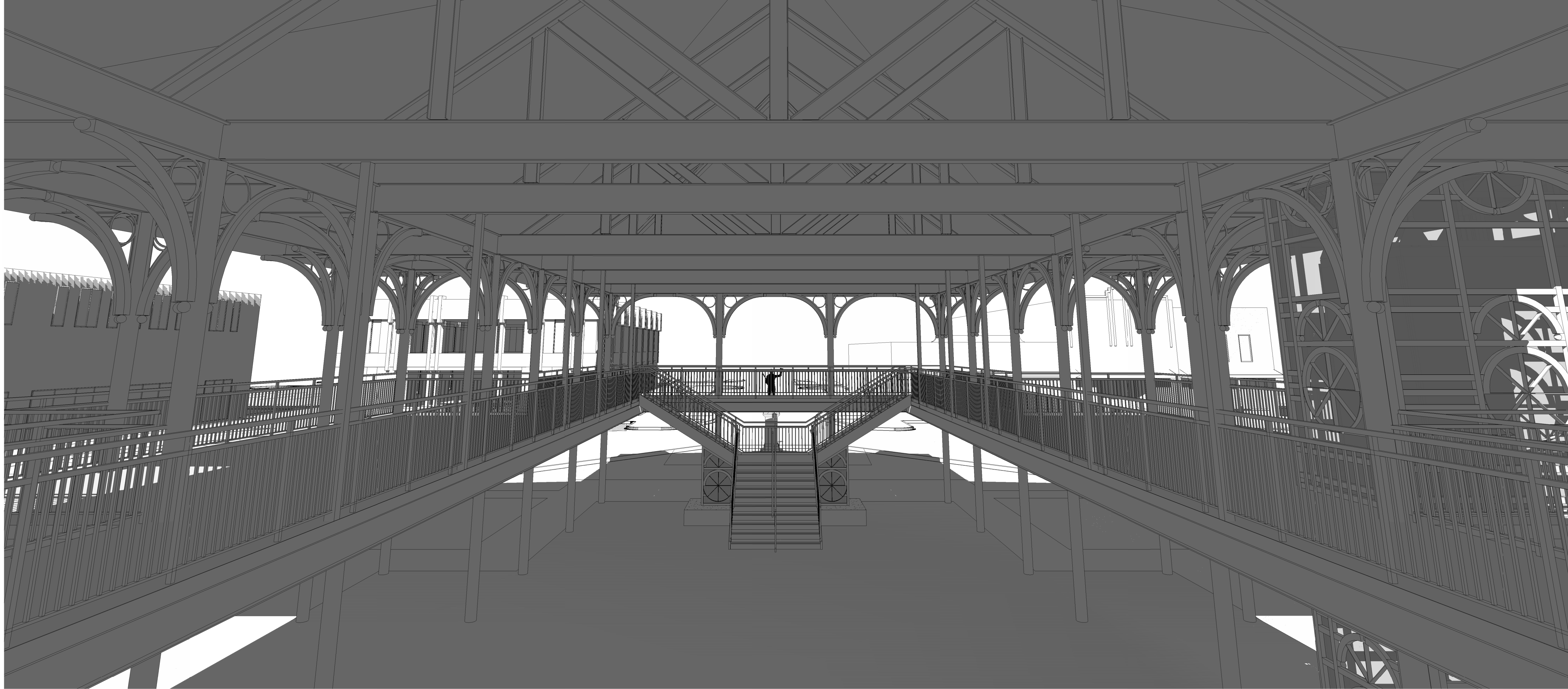
PROJECT PHASE
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SHEET CONTENTS
3D - PERSPECTIVE

SHEET NO.
A-3D1



1 3D - Interior Perspective 1st Floor



2 3D - Interior Perspective 2nd Floor

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PROJECT PHASE
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SHEET CONTENTS
3D - PERSPECTIVE

SHEET NO.
A-3D2

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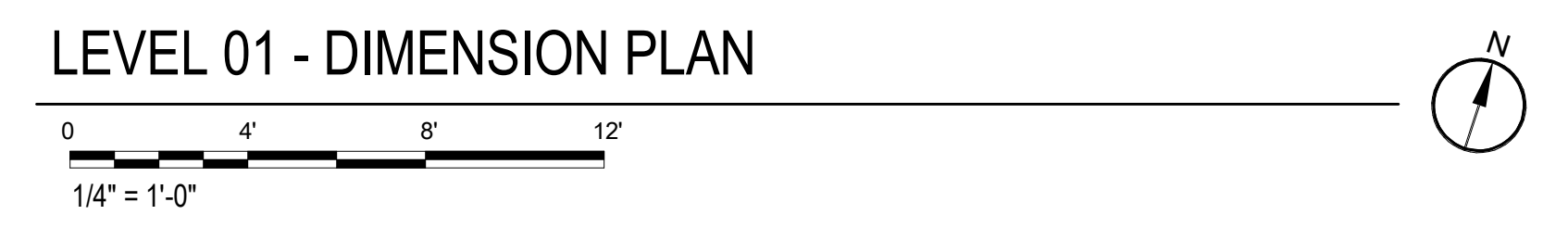
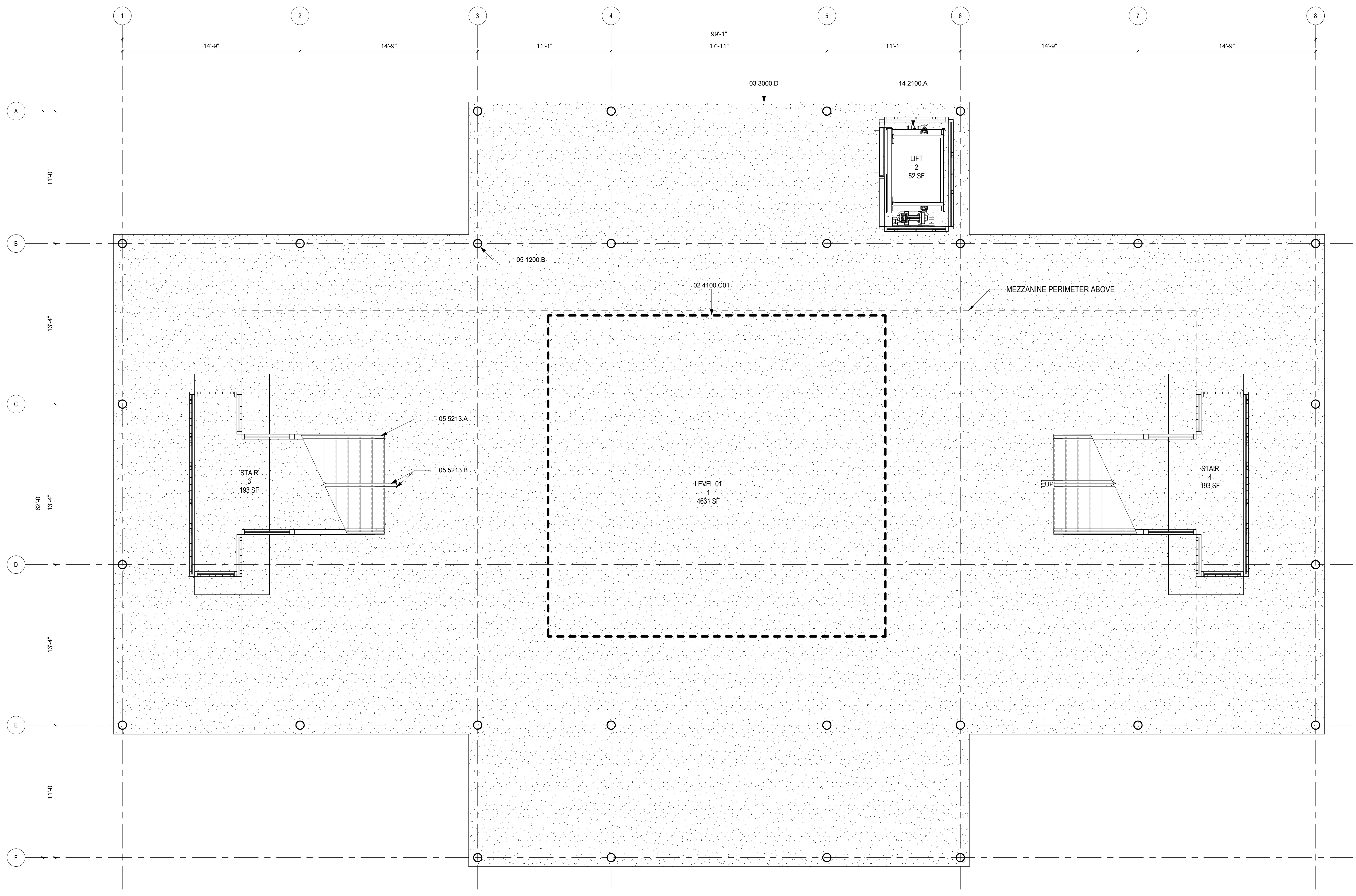
GENERAL SHEET NOTES

- A. THE CONTRACTOR SHALL TAKE FIELD MEASUREMENTS AND VERIFY FIELD CONDITIONS AND SHALL CAREFULLY COMPARE SUCH FIELD MEASUREMENTS, CONDITIONS, AND OTHER INFORMATION KNOWN TO THE CONTRACTOR WITH THE CONTRACT DOCUMENTS BEFORE COMMENCING ACTIVITIES. ERRORS, INCONSISTENCIES OR OMISSIONS DISCOVERED SHALL BE REPORTED TO THE ARCHITECT AT ONCE.
- B. THE CONTRACTOR SHALL NOT SCALE DRAWINGS.
- C. DIMENSIONS ARE NOT ADJUSTABLE UNLESS NOTED WITH PLUS/MINUS TOLERANCE.
- D. DIMENSIONS ARE INDICATED AS FOLLOWS UNLESS OTHERWISE NOTED:
- E. COLUMNS - FROM CENTERLINE TO CENTERLINE
- F. METAL STUD PARTITIONS - FROM FACE OF STUD TO FACE OF STUD
- G. WOOD STUD PARTITIONS - FROM FACE OF STUD TO FACE OF STUD
- H. CONCRETE - FROM FACE OF CONCRETE TO FACE OF CONCRETE
- I. MASONRY - FROM FACE OF MASONRY TO FACE OF MASONRY
- J. EXTERIOR WALL - FROM EXTERIOR FACE OF WALL TO INTERIOR FACE OF STUD
- K. INTERIOR ELEVATION - FROM FINISHED FLOOR TO FINISHED CEILING OR FINISHED WALL TO FINISHED WALL
- L. DOOR SHALL BE LOCATED 6" FROM CLEAR OPENING TO ADJACENT WALL UNLESS OTHERWISE NOTED.
- M. ALL FLOOR TO FLOOR AND CEILING HEIGHTS SHOWN ON DRAWINGS ARE FROM FINISH FLOOR.

REFERENCE KEYNOTES

02 4100.C01	REMOVE AND INFILL BASEMENT
03 3000.D	CONCRETE SLAB ON GRADE
05 1200.B	STEEL COLUMN
05 5213.A	GUARDRAIL
05 5213.B	HANDRAIL
14 2100.A	ELECTRIC TRACTION ELEVATOR

SHEET KEYNOTES



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PROJECT PHASE
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SHEET CONTENTS
LEVEL 01 DIMENSION PLAN

SHEET NO.
A-101

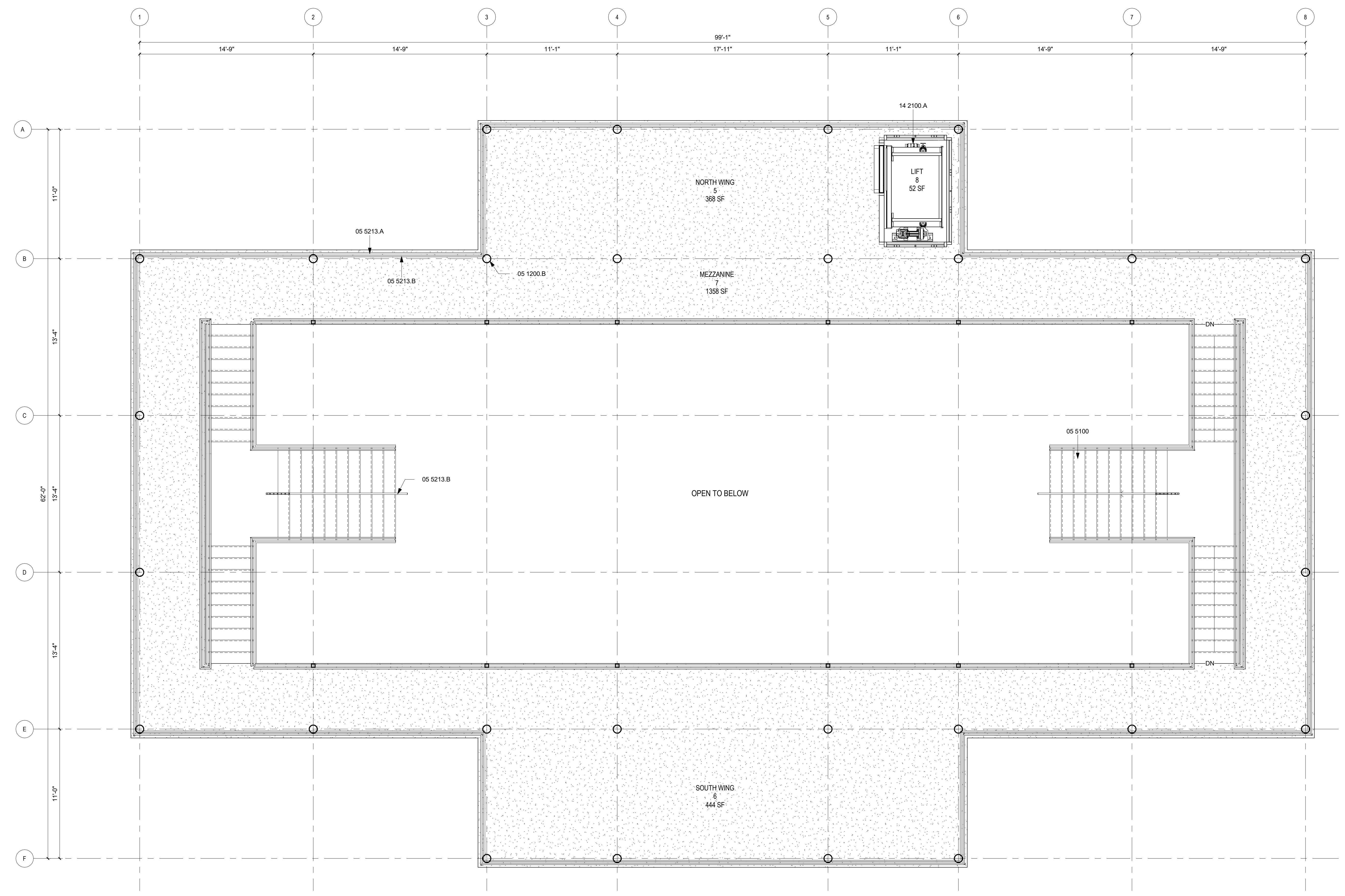
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- G. WOOD STUD PARTITIONS - FROM FACE OF STUD TO FACE OF STUD
- H. CONCRETE - FROM FACE OF CONCRETE TO FACE OF CONCRETE
- I. MASONRY - FROM FACE OF MASONRY TO FACE OF MASONRY
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REFERENCE KEYNOTES

- 05 1200.B STEEL COLUMN
- 05 5100 METAL STAIRS
- 05 5213.A GUARDRAIL
- 05 5213.B HANDRAIL
- 14 2100.A ELECTRIC TRACTION ELEVATOR

SHEET KEYNOTES



LEVEL 02 - DIMENSION PLAN

0 4' 8' 12'

1/4" = 1'-0"

N

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PROJECT PHASE
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SHEET CONTENTS
ROOF PLAN

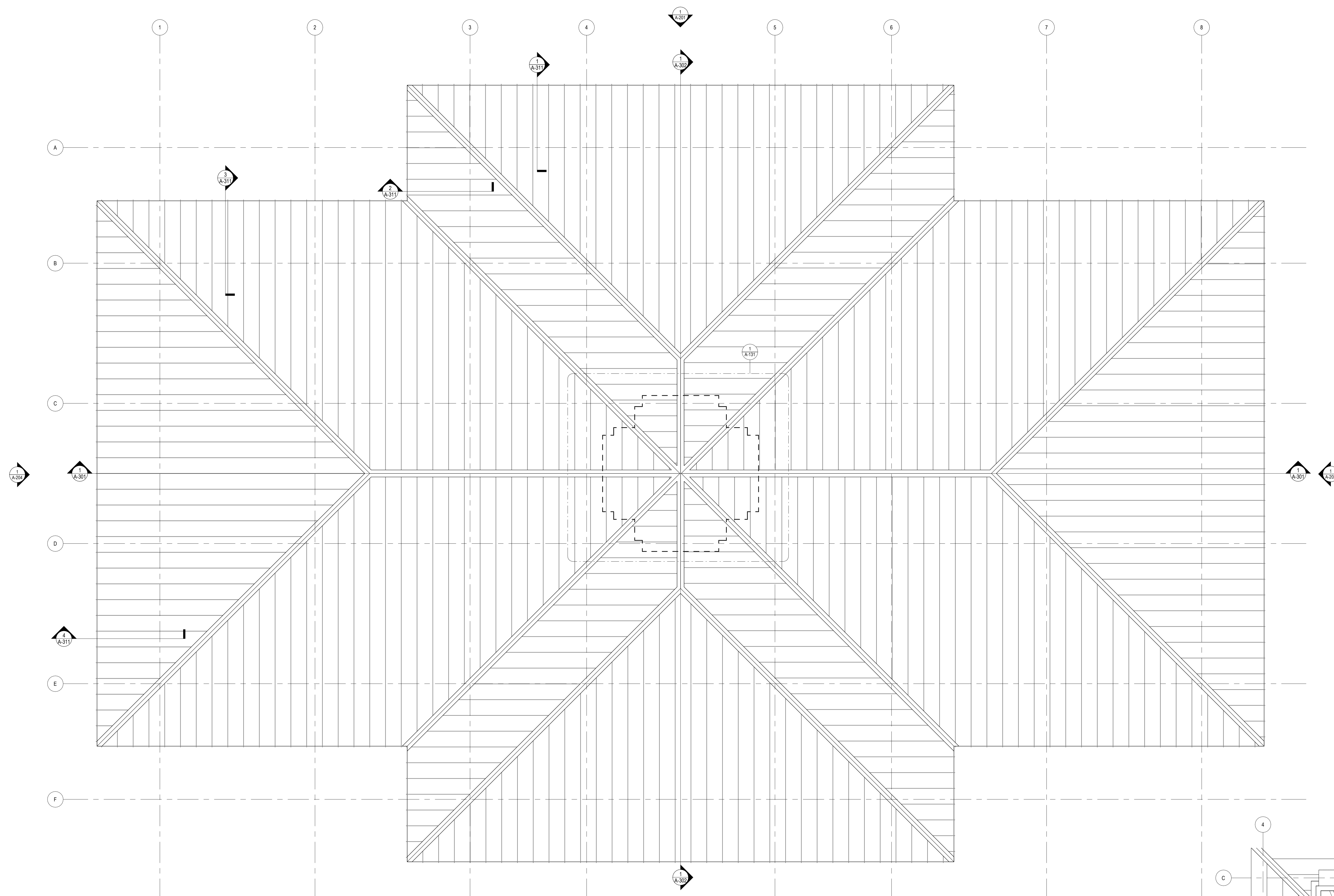
SHEET NO.
A-131

GENERAL SHEET NOTES

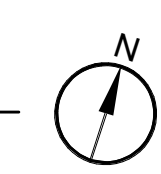
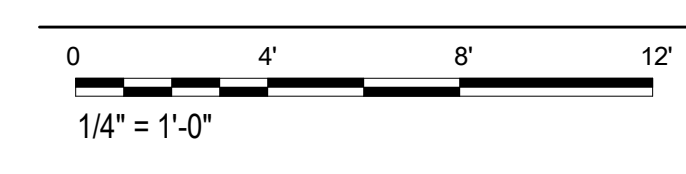
- A. Do not begin work without holding a pre-roofing conference. Notify Architect, Roofing Supplier, Manufacturer, Installer, Sheet Metal Subcontractor and other related subcontractors a minimum of 7 days before commencing roofing work.
- B. Roofing Supplier, Manufacturer and Installer shall review all roofing details and advise Architect on any recommended changes. Unless notified otherwise, details will be assumed to have been reviewed by all parties.
- C. Provide crickets behind all mechanical equip, curbs, roof hatch curbs, etc.
- D. Minimum slope at all cricket valleys shall be 1/4" per foot. Do not scale plan for cricket dimensions.
- E. All cricket slopes shall be achieved in a manner acceptable to Architect and in accordance with roofing manufacturer's requirements.
- F. Provide curbs and flashing at any equipment not provided with pre-manufactured curbs.
- G. Separate all dissimilar metals with bimiumous coatings or other methods acceptable to the Architect.
- H. Flashing details shall be in strict compliance with approved Roof Manufacturer's standards for application, and shall be fabricated in accordance with the latest edition of "Sheet Metal and Air Conditioning Contractor's National Association" (SMACNA) technical manual.
- I. All sheet metal scuppers, sleeves, etc. penetrating roofing or parapets to which roofing must attach shall be a minimum of 20 gauge, all soldered construction, with minimum 3" wide flanges.
- J. All scuppers shall be constructed with four full sides, with flanges through the thickness of the wall, forming a complete "sleeve" through the wall.
- K. Provide flashing per Roofing Manufacturer's standard details at all electrical conduit, HVAC lines, plumbing vents, etc.
- L. Flashing shall be factory finished where indicated. Galvanized unfinished flashing exposed to view shall be washed, primed, and finished with paint per the Specifications.
- M. Provide concrete splash blocks below all scuppers and at all drain leaders that daylight above grade or onto roof surfaces.
- N. Contractor and all sub-trades shall exercise the necessary care to limit traffic and prevent damage to the roof membrane.
- O. Where existing roofing is modified, engage qualified installers of the roofing systems to maintain roof warranties. It is the Contractor's responsibility to verify types and manufacturers of existing roofing systems.

REFERENCE KEYNOTES

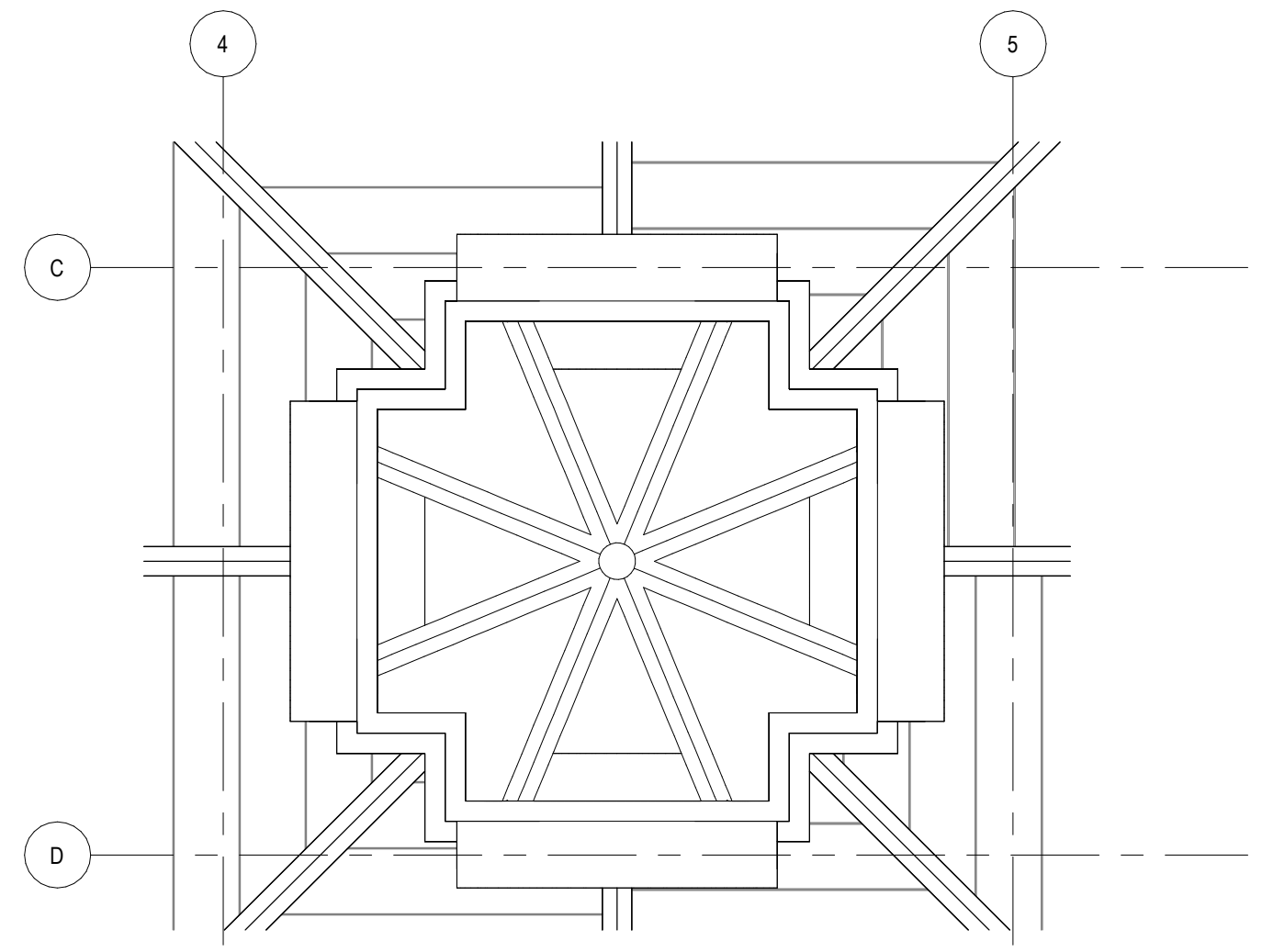
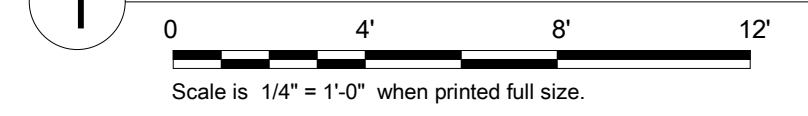
SHEET KEYNOTES



ROOF PLAN



1 ROOF PLAN AT CUPOLA



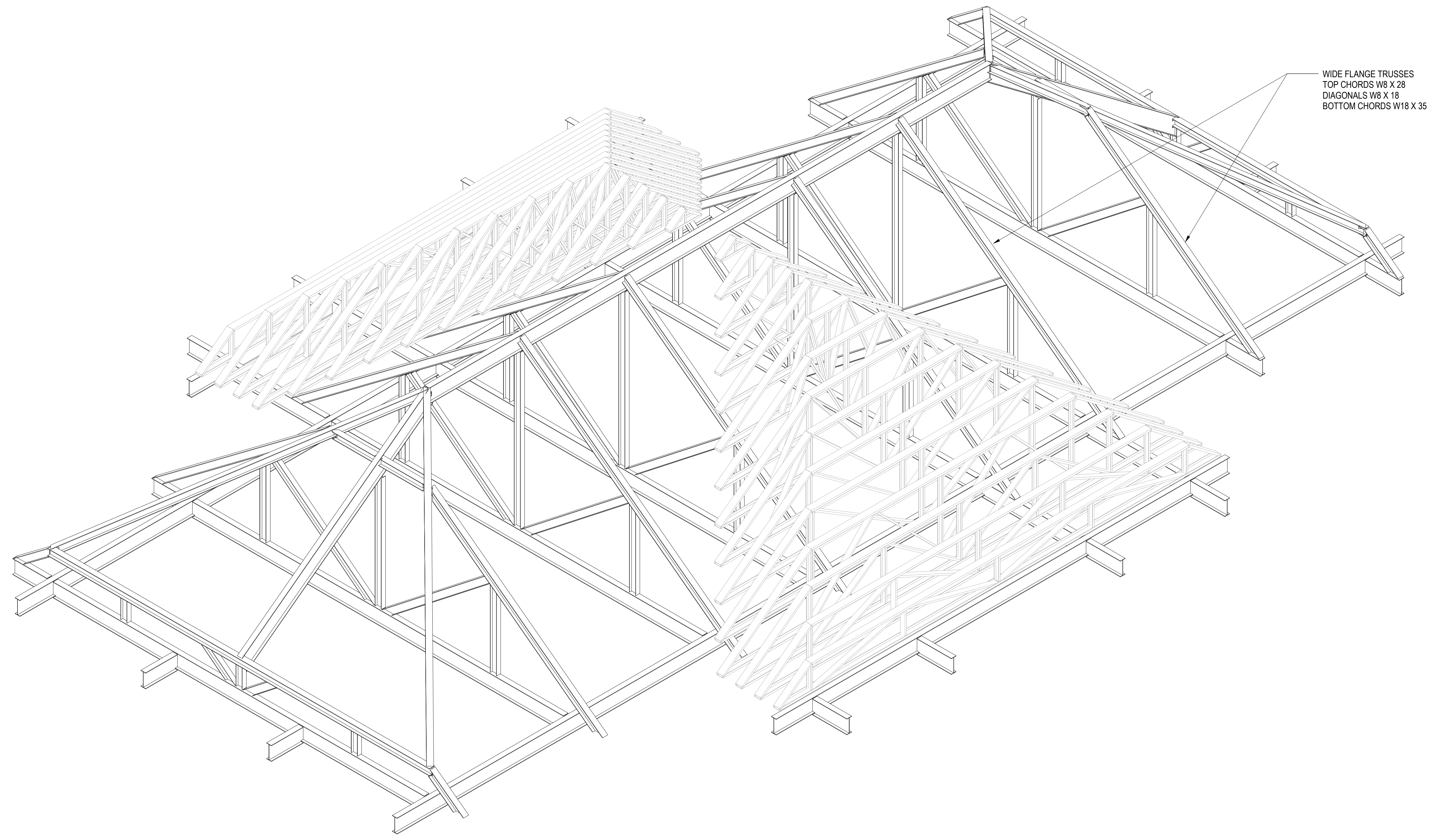
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GENERAL SHEET NOTES

- A. Keynotes and legends are typical for all floor plan sheets, and may not apply to each sheet.
- B. Dimensions are to face of masonry, concrete and [Juts OR gypsum board] and centerline of columns unless noted otherwise.
- C. See enlarged floor plans and details for specific locations of plumbing fixtures.
- D. Field verify all dimensions prior to fabrication of any cabinetry, frames, structural items, etc.
- E. All guardrails and handrails shall be fabricated and installed in accordance with applicable codes, regulations, and AHJ.
- F. Seal all penetrations in fire rated assemblies as required by all applicable codes. Permanently label all penetrations and assemblies.
- G. Verify and coordinate all requirements for owner furnished items, prior to performance of any work that is to accommodate and interface with such items.
- H. All angles are increments of 45 degrees unless noted otherwise.
- I. Extend wall envelope insulation from floor line to meet roof insulation.
- J. Provide "Fry" reveal FDM 625-75 or equal at all gypsum board to masonry or concrete transitions.
- K. All frame walls to be Type [S1C OR CHOOSE TYPE] and all furring walls to be [F01E OR CHOOSE TYPE], unless noted otherwise.

REFERENCE KEYNOTES

SHEET KEYNOTES



1 ROOF TRUSSES - AXON

0 4 8 12
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 2023_071 07.28.2023

REVISIONS	DATE	DESCRIPTION
DELTA		

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PROJECT PHASE
 SCHEMATIC DESIGN

SHEET CONTENTS
 ROOF STRUCTURE

SHEET NO.
A-132

SCHEMATIC DESIGN
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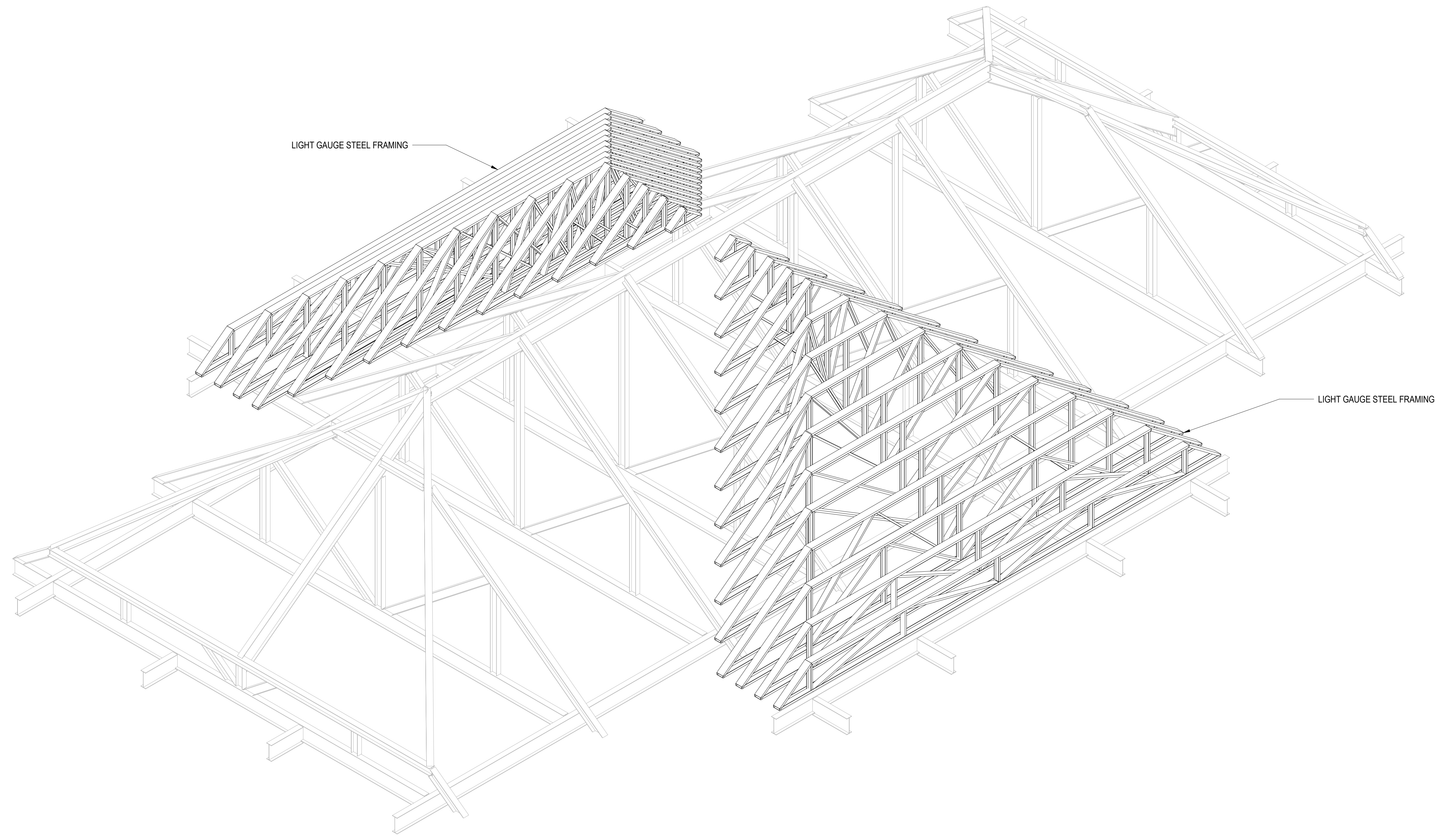
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- C. See enlarged floor plans and details for specific locations of plumbing fixtures.
- D. Field verify all dimensions prior to fabrication of any cabinetry, frames, structural items, etc.
- E. All guardrails and handrails shall be fabricated and installed in accordance with applicable codes, regulations, and AHJ.
- F. Seal all penetrations in fire rated assemblies as required by all applicable codes. Permanently label all penetrations and assemblies.
- G. Verify and coordinate all requirements for owner furnished items, prior to performance of any work that is to accommodate and interface with such items.
- H. All angles are increments of 45 degrees unless noted otherwise.
- I. Extend wall envelope insulation from floor line to meet roof insulation.
- J. Provide "Fry" reveal FDM 625-75 or equal at all gypsum board to masonry or concrete transitions.
- K. All frame walls to be Type [S1C OR CHOOSE TYPE] and all furring walls to be [F01E OR CHOOSE TYPE], unless noted otherwise.

REFERENCE KEYNOTES

SHEET KEYNOTES



1 ROOF FRAMING - AXON
0 4 8 12
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PROJECT PHASE
SCHEMATIC DESIGN

SHEET CONTENTS
ROOF STRUCTURE

SHEET NO.
A-133

GENERAL SHEET NOTES

- A. All exposed steel walls shall be of masonry type indicated for walls above floor line.
- B. Sidewalks at building and structures shall match finish floor flush at doorways and slope away from the building.
- C. Paint all exposed metal that is not specified to receive factory finish.
- D. All exposed flashing shall be factory finished.
- E. See Plans and Schedule for door and window types and sizes.

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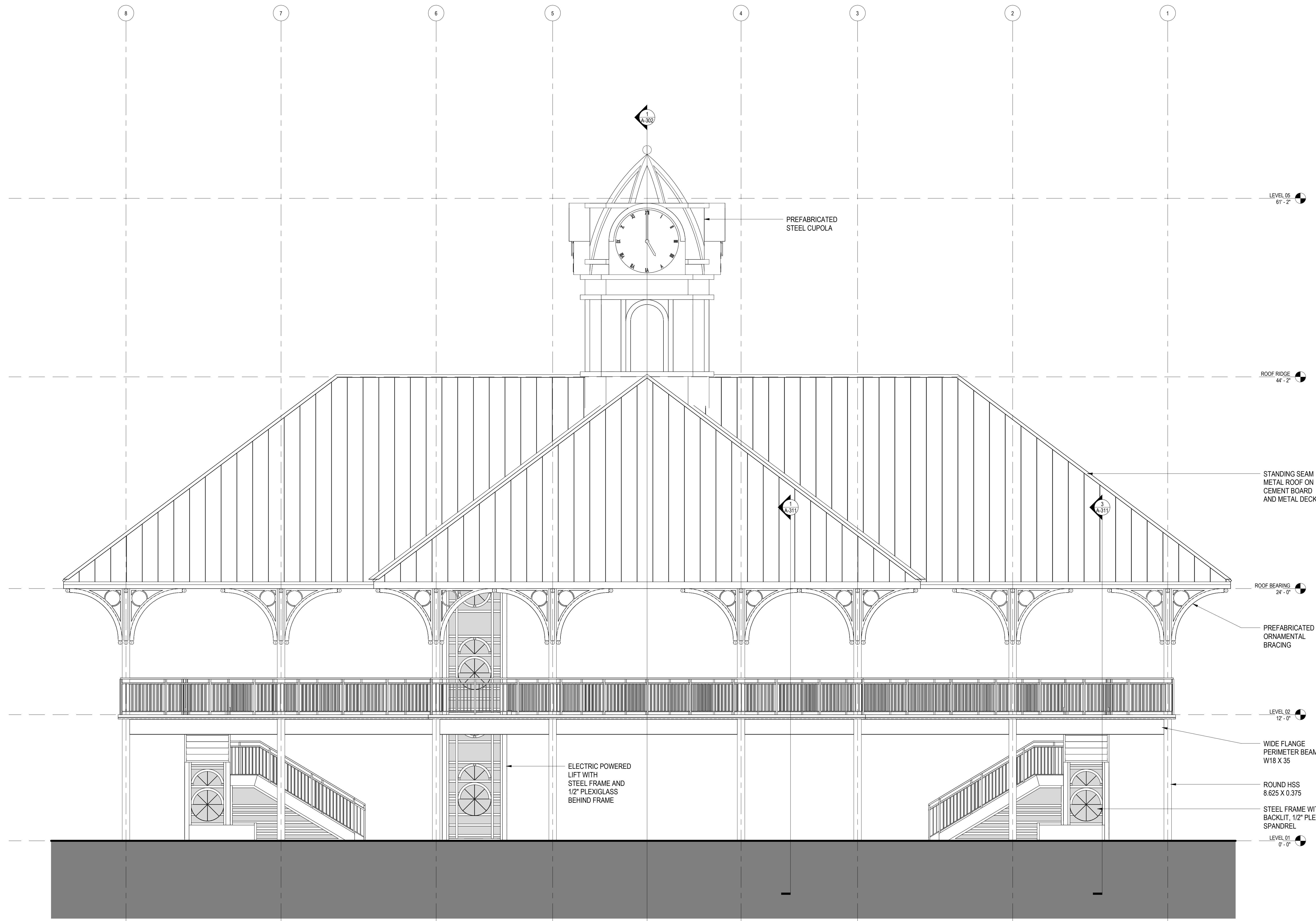
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PROJECT PHASE
SCHEMATIC DESIGN

SHEET CONTENTS
BUILDING ELEVATIONS

SHEET NO.
A-201



1 NORTH ELEVATION

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GENERAL SHEET NOTES

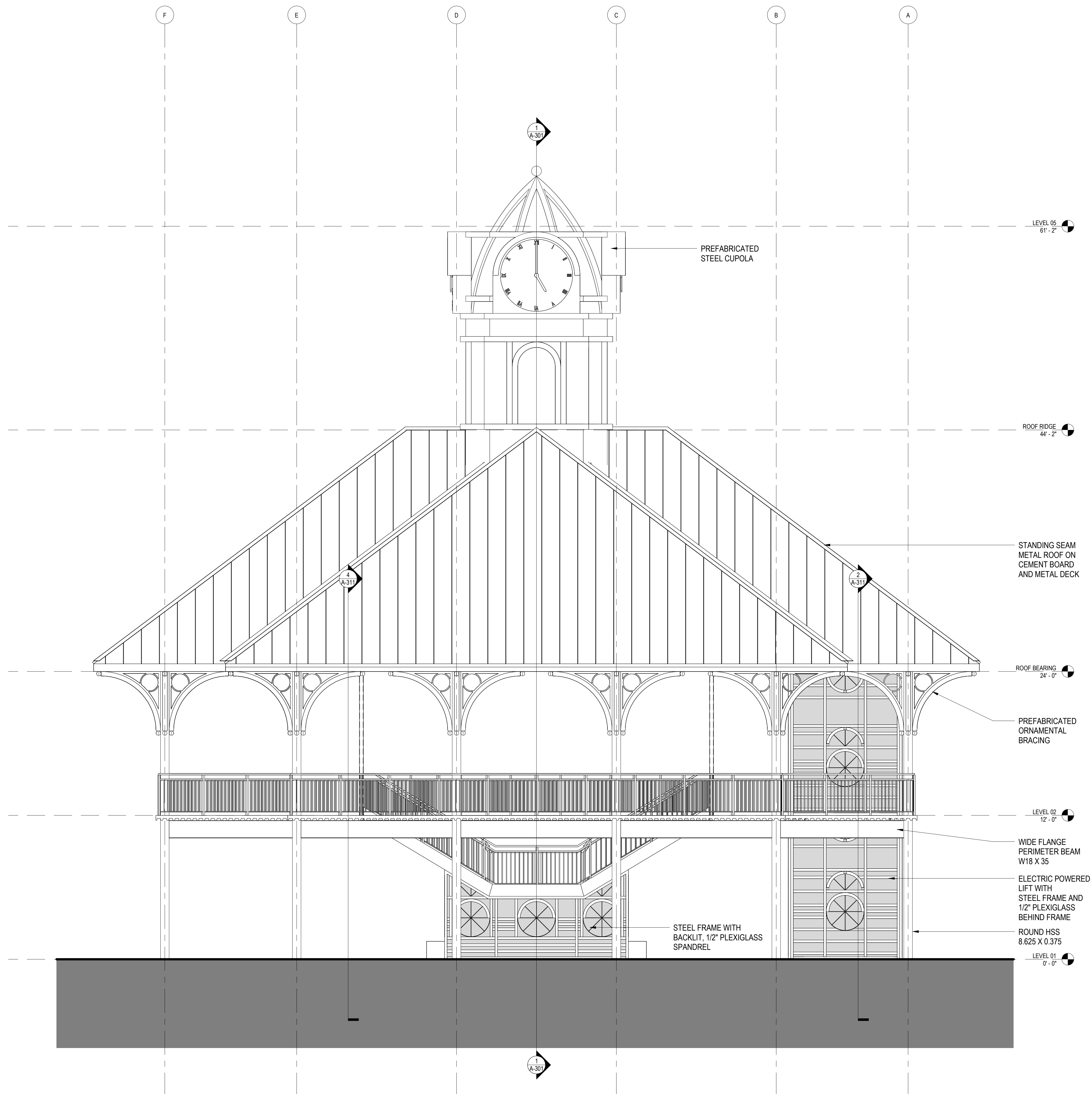
- A. All exposed stem walls shall be of masonry type indicated for walls above floor line.
- B. Sidewalks at building and structures shall match finish floor flush at doorways and slope away from the building.
- C. Paint all exposed metal that is not specified to receive factory finish.
- D. All exposed flashing shall be factory finished.
- E. See Plans and Schedule for door and window types and sizes.

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1 EAST ELEVATION

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PROJECT PHASE
SCHEMATIC DESIGN

SHEET CONTENTS
BUILDING ELEVATIONS

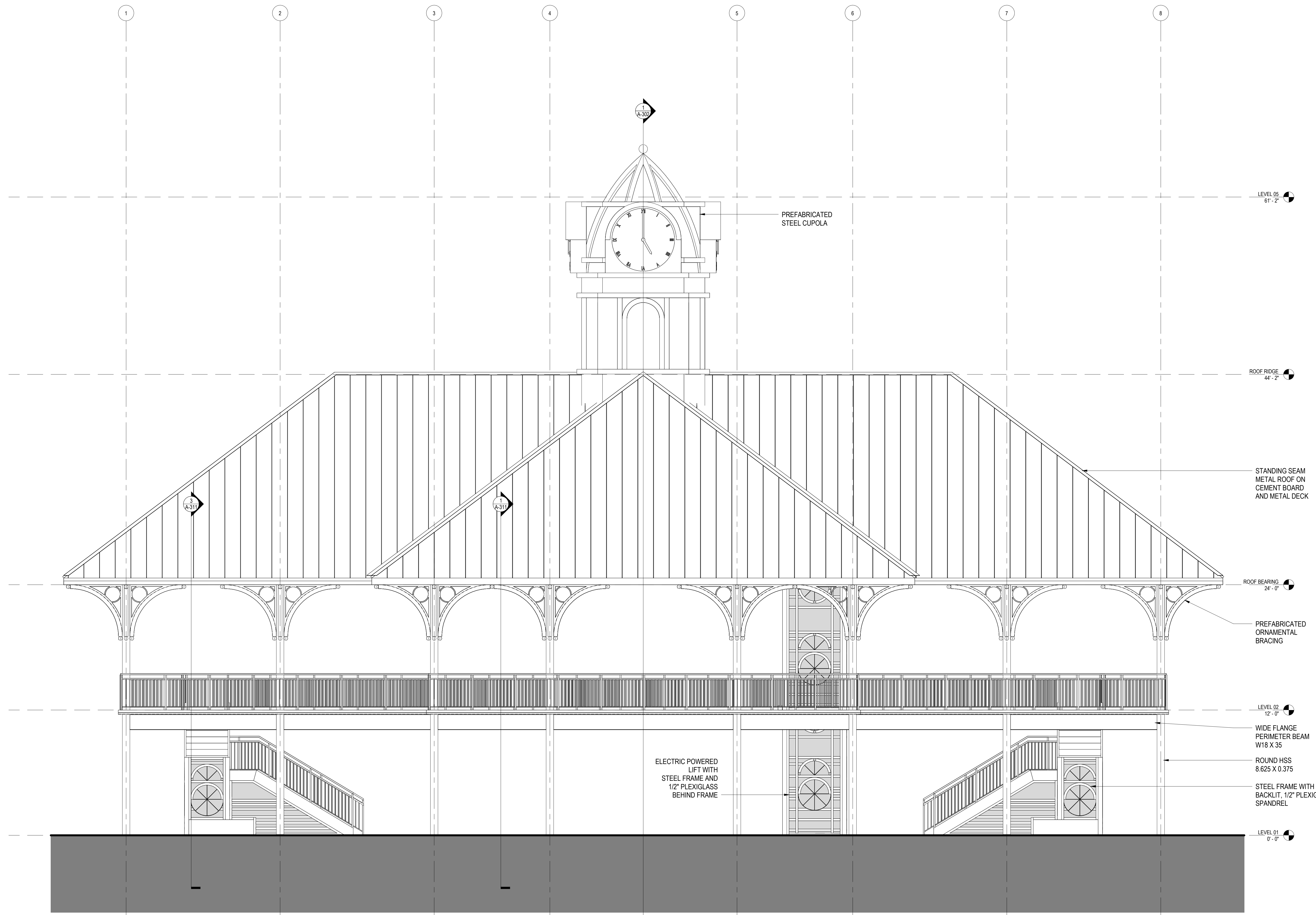
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A-202

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- B. Sidewalks at building and structures shall match finish floor flush at doorways and slope away from the building.
- C. Paint all exposed metal that is not specified to receive factory finish.
- D. All exposed flashing shall be factory finished.
- E. See Plans and Schedule for door and window types and sizes.



1 SOUTH ELEVATION

0 4' 8' 12'

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PROJECT PHASE
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SHEET CONTENTS
BUILDING ELEVATIONS

SHEET NO.
A-203

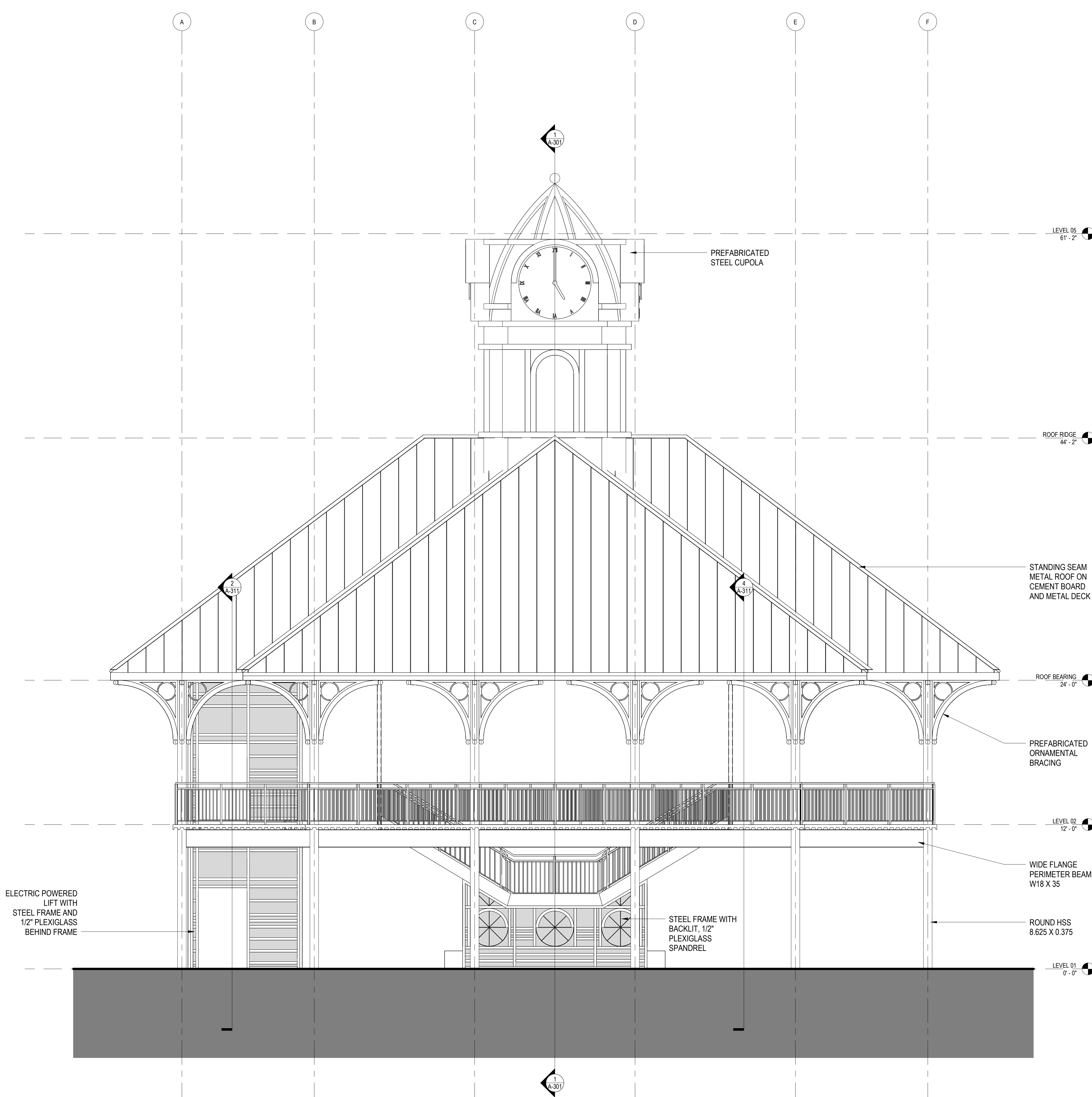
GENERAL SHEET NOTES

- A. All exposed stem walls shall be of masonry type indicated for walls above floor line.
- B. Sidewalks at building and structures shall match finish floor flush at doorways and slope away from the building.
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1 WEST ELEVATION
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SHEET CONTENTS
BUILDING ELEVATIONS

SHEET NO.
A-204

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GENERAL SHEET NOTES

- A. Suspended materials shall be attached to structure with tested connectors for tension or shear condition at frequency to support load applied.
- B. Insulation shall be continuous at the roof plane and shall lap wall insulation.
- C. Route all plumbing, fire sprinkler, mechanical, electrical, fire alarm, piping, and conduit in concealed or furled areas only. Exposed piping and conduit shall not be allowed in any area except in electrical and fire riser rooms.

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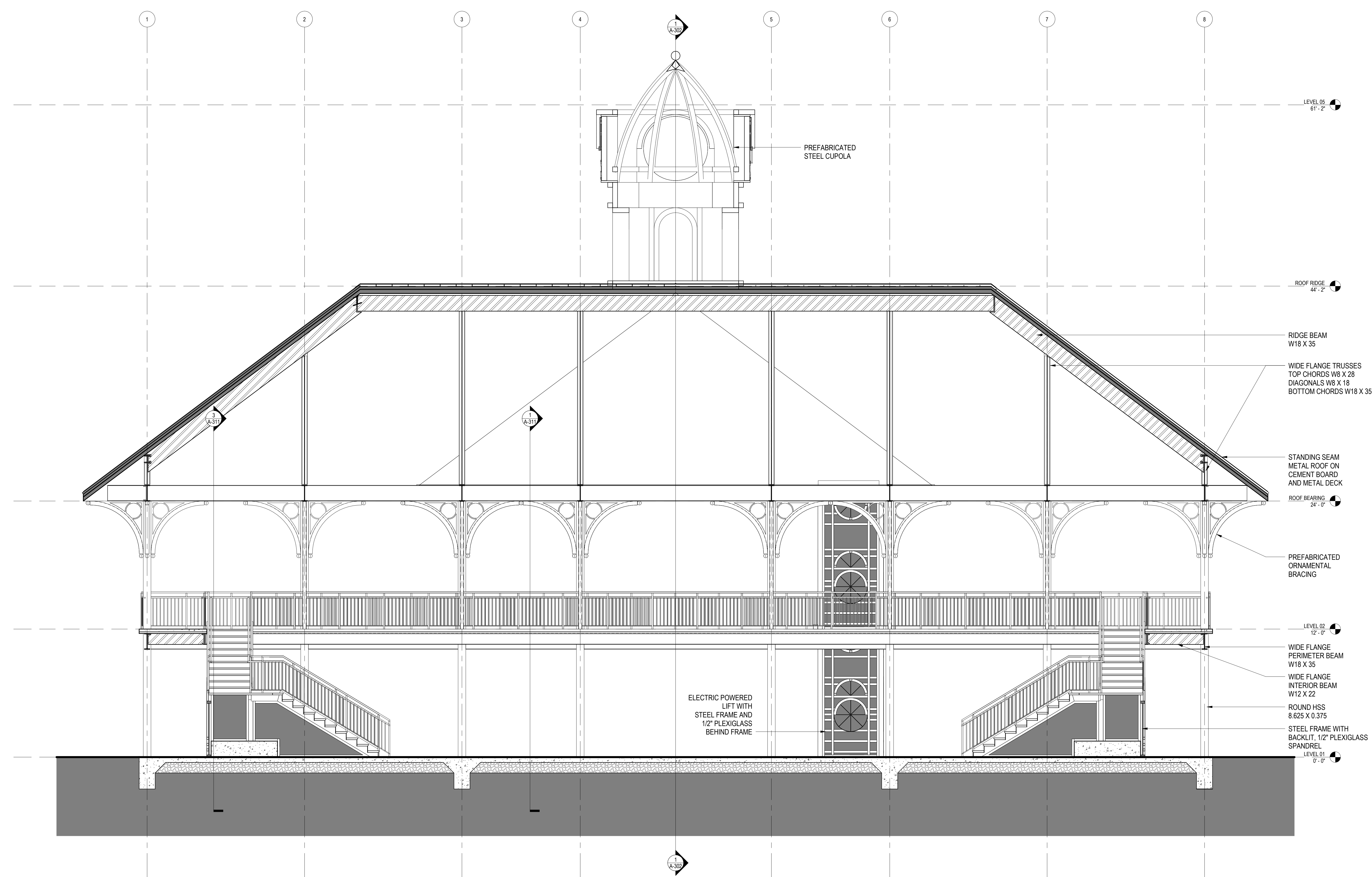
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PROJECT PHASE
SCHEMATIC DESIGN

SHEET CONTENTS
BUILDING SECTIONS

SHEET NO.
A-301



SECTION A-A
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GENERAL SHEET NOTES

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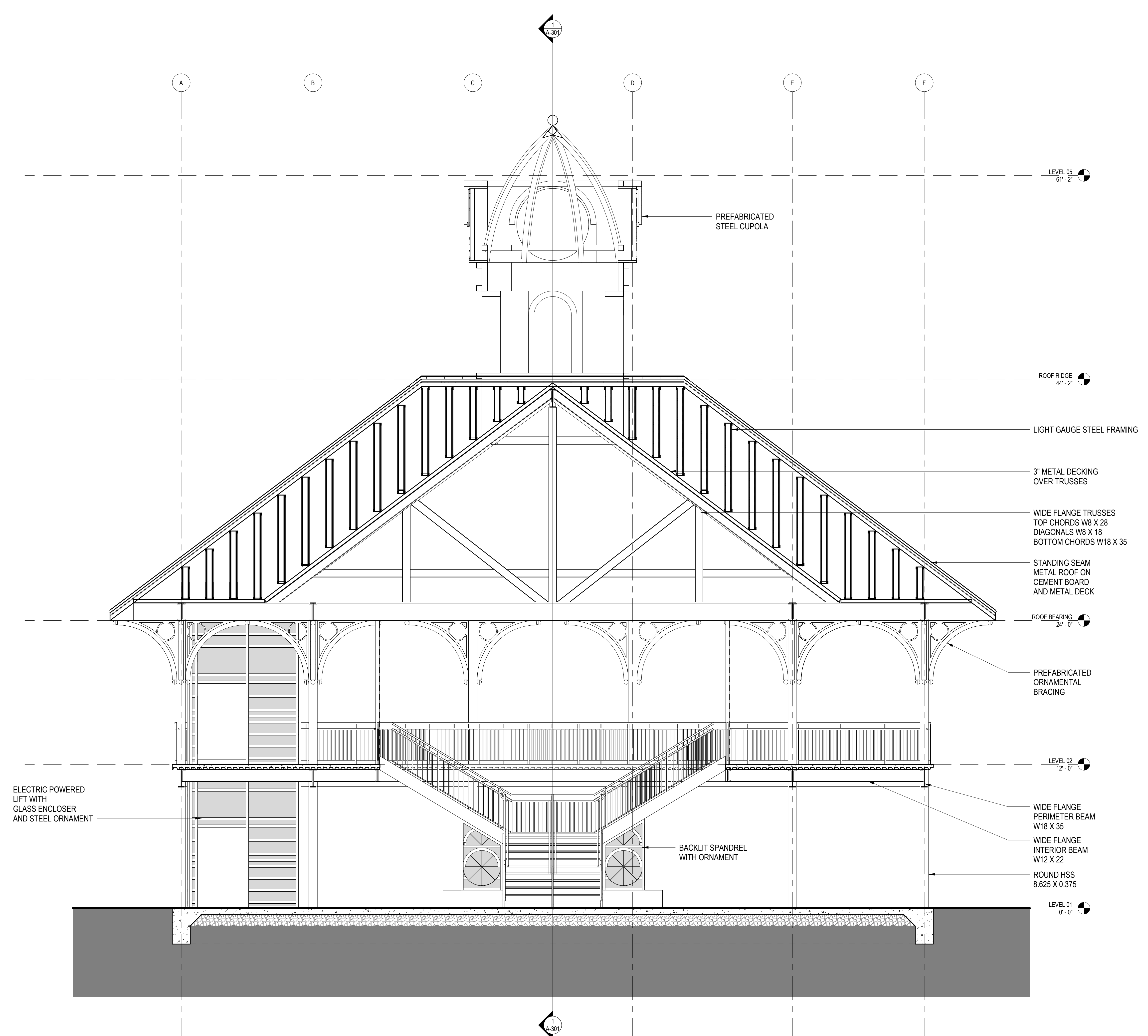
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1 SECTION B-B

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PROJECT PHASE
SCHEMATIC DESIGN

SHEET CONTENTS
BUILDING SECTIONS

SHEET NO.
A-302

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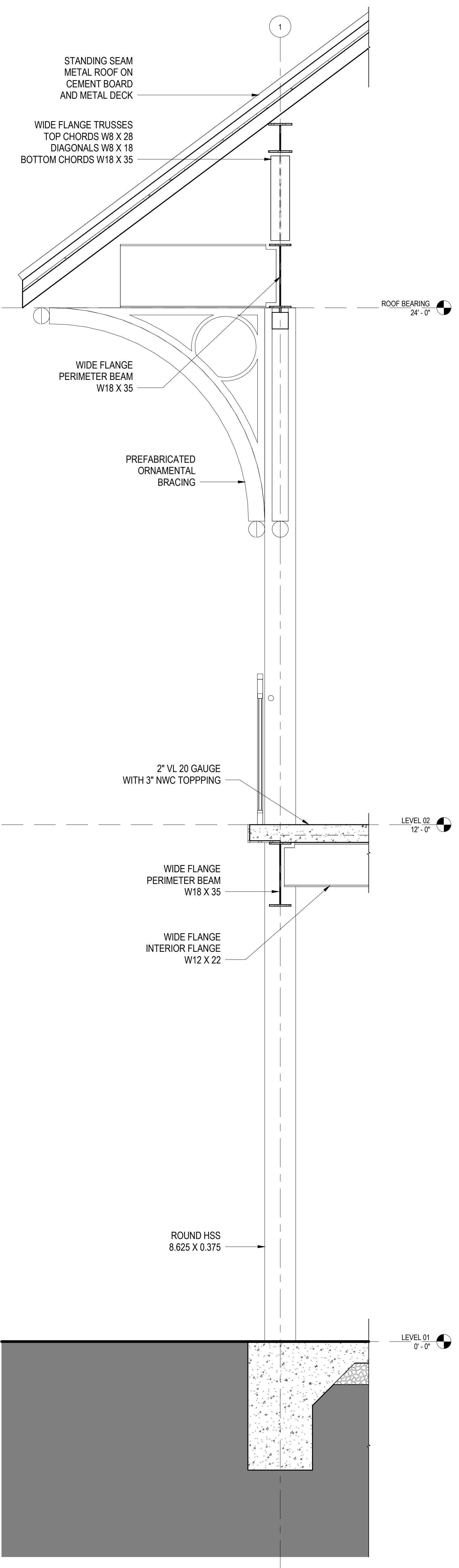
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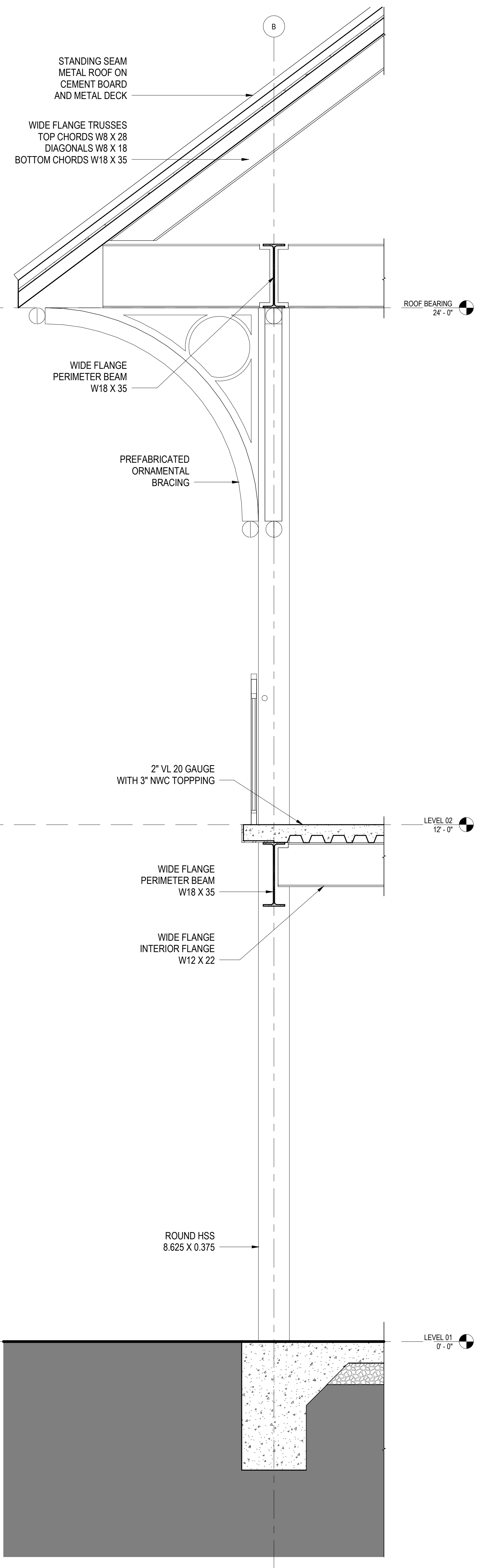
PROJECT PHASE
SCHEMATIC DESIGN

SHEET CONTENTS
WALL SECTIONS

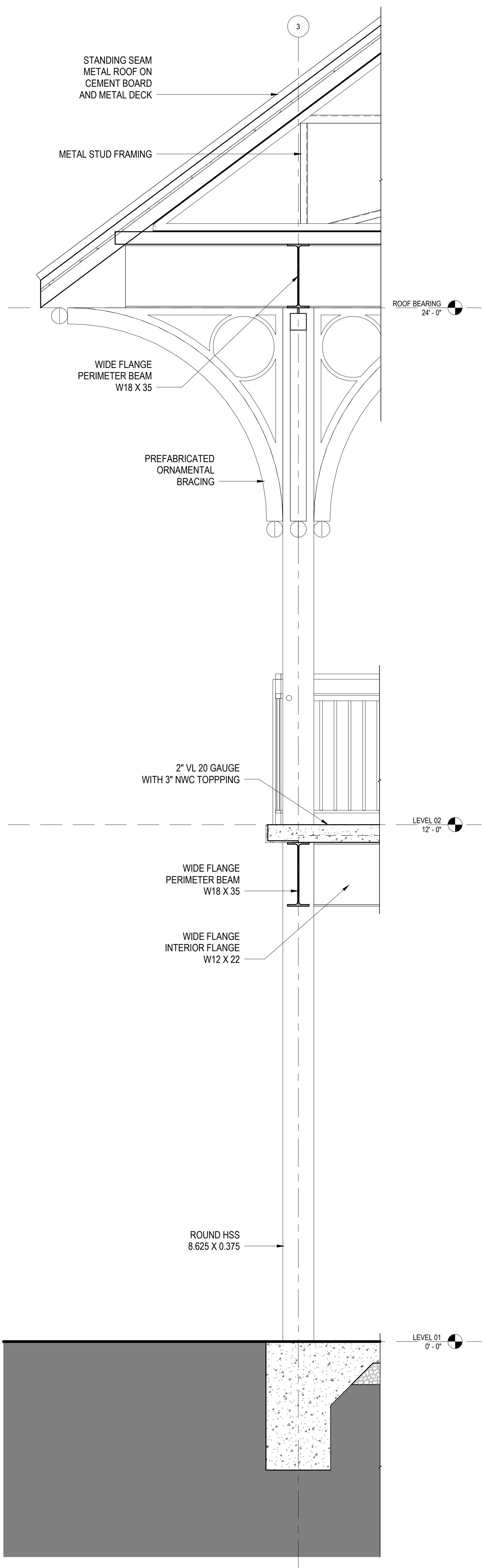
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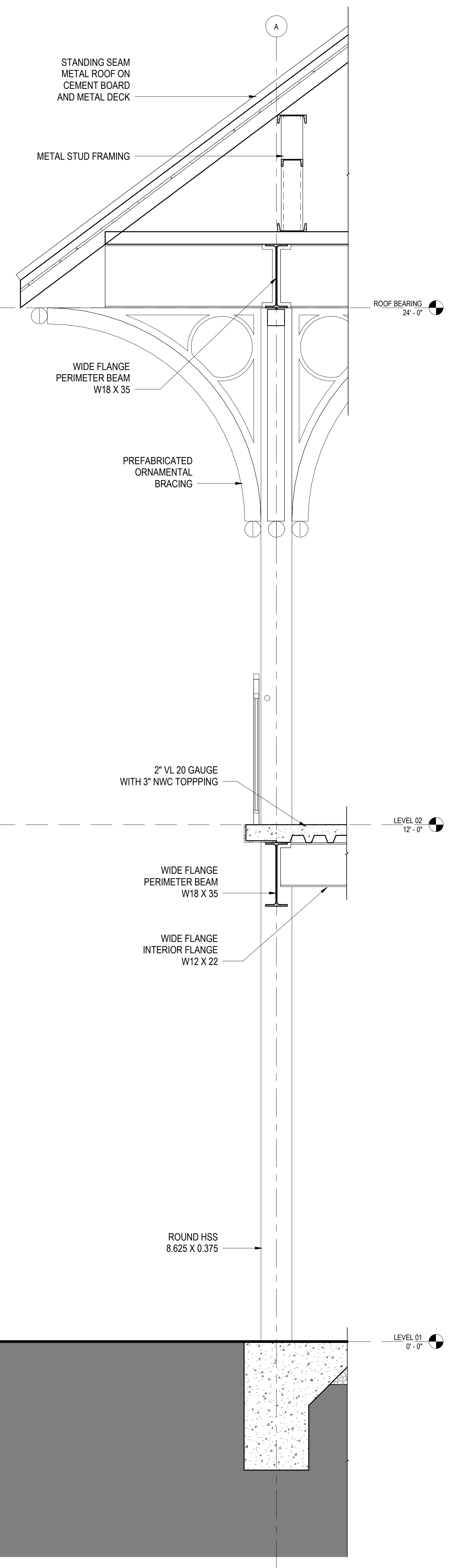
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3 WALL SECTION
3/4" = 1'-0"
0 1' 2' 3' 4'



2 WALL SECTION
3/4" = 1'-0"
0 1' 2' 3' 4'

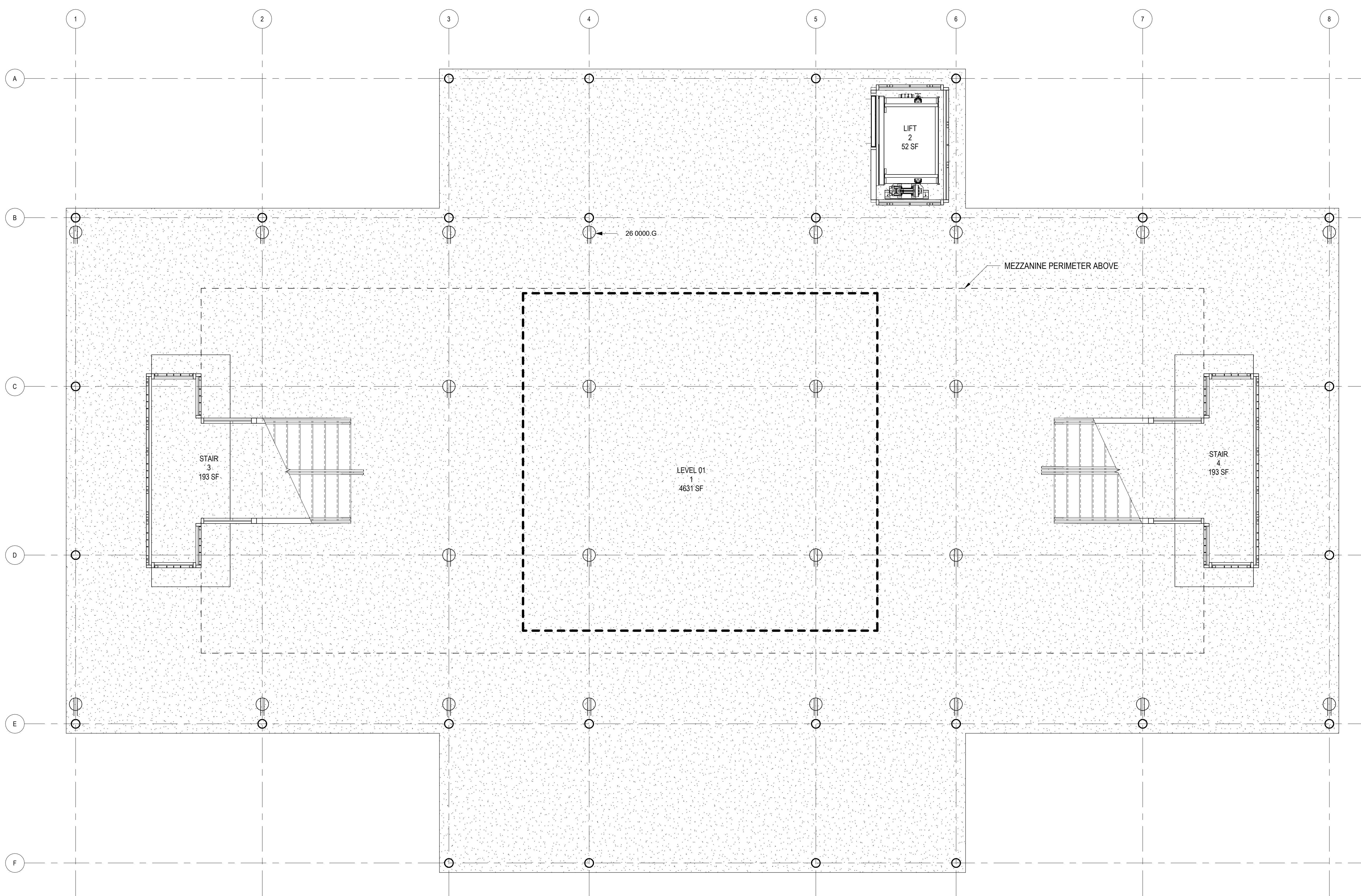


1 WALL SECTION
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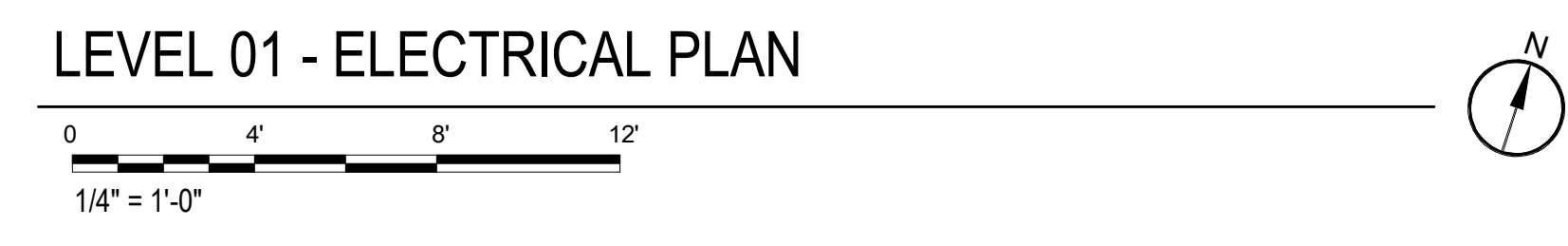
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REFERENCE KEYNOTES

26 0000.G ELECTRICAL RECEPTACLE

SHEET KEYNOTES



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PROJECT PHASE
SCHEMATIC DESIGN

SHEET CONTENTS
LEVEL 01 ELECTRICAL PLAN

SHEET NO.
A-E.1

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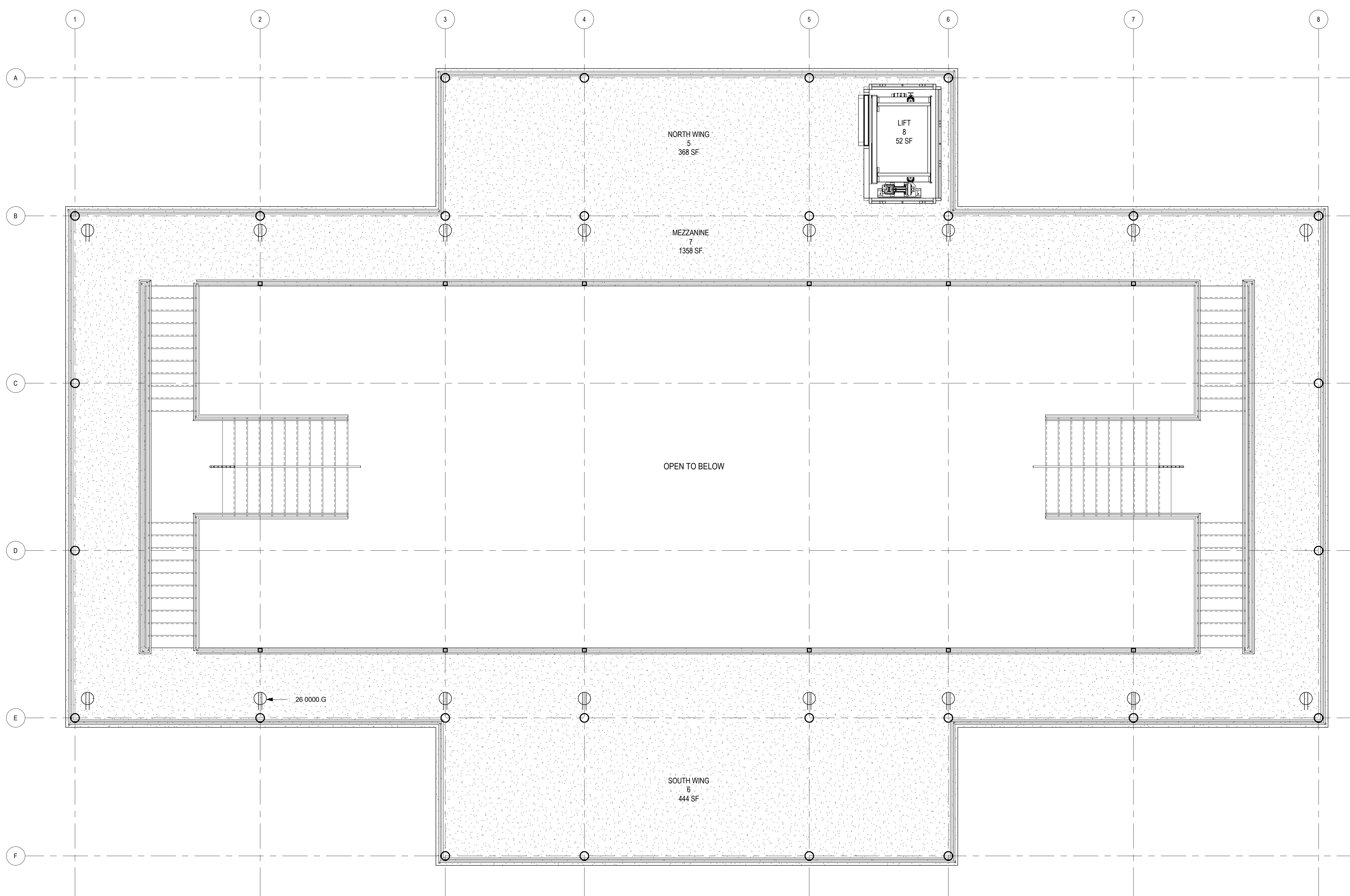
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SCHEMATIC DESIGN

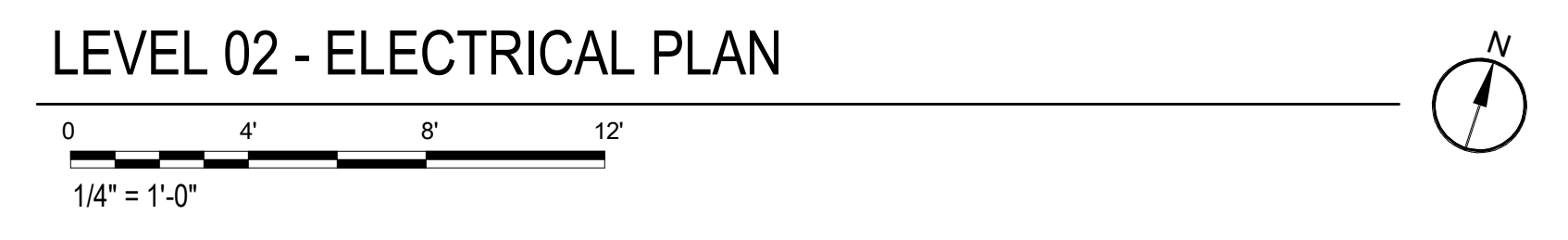
SHEET CONTENTS
LEVEL 02 ELECTRICAL PLAN

SHEET NO.
A-E.2



REFERENCE KEYNOTES
26 0000 G ELECTRICAL RECEPTACLE

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OWP PROJECT NO. DATE OF ISSUE
2023_071 07.28.2023

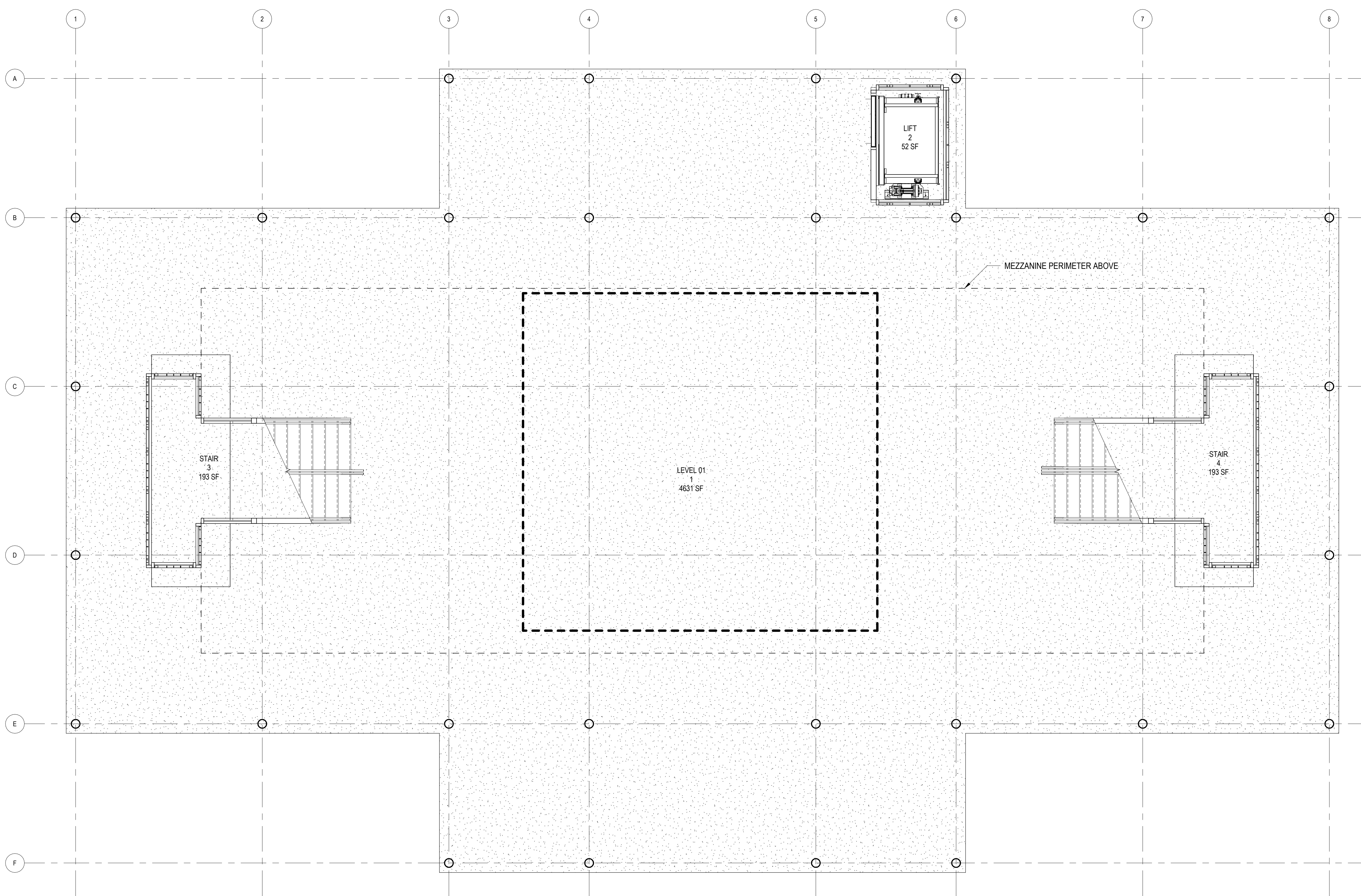
REVISIONS	DELTA	DESCRIPTION	DATE

PROJECT TEAM DRAWN BY
HEALTHCARE RG

PROJECT PHASE
SCHEMATIC DESIGN

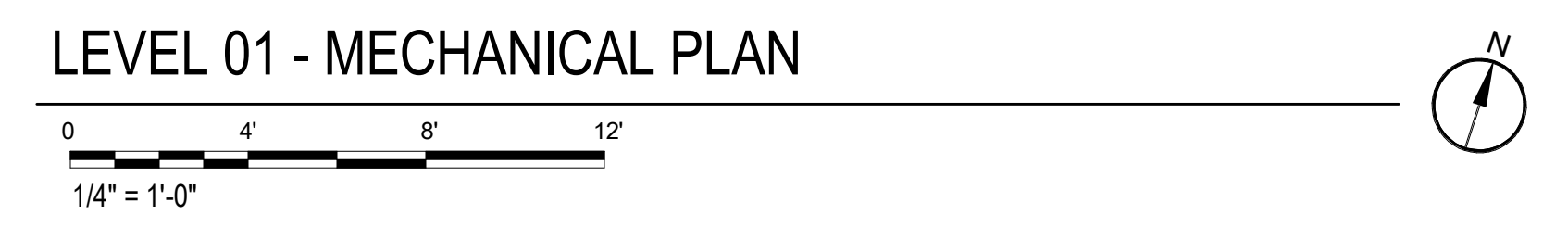
SHEET CONTENTS
LEVEL 01 MECHANICAL PLAN

SHEET NO.
A-M.1



REFERENCE KEYNOTES

SHEET KEYNOTES



SCHEMATIC DESIGN
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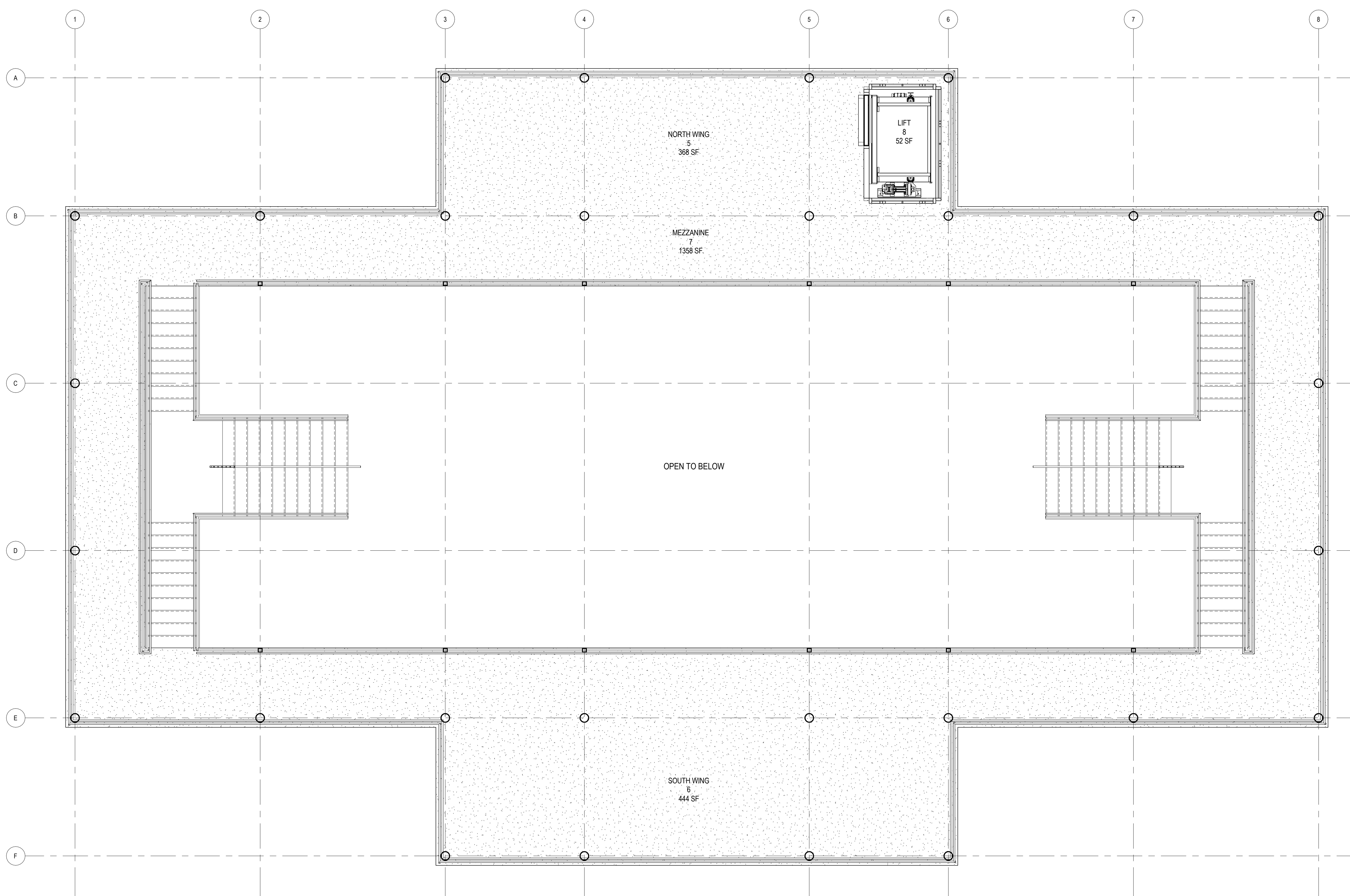
REVISIONS	DELTA	DESCRIPTION	DATE

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PROJECT PHASE
SCHEMATIC DESIGN

SHEET CONTENTS
LEVEL 02 MECHANICAL PLAN

SHEET NO.
A-M.2



REFERENCE KEYNOTES

SHEET KEYNOTES

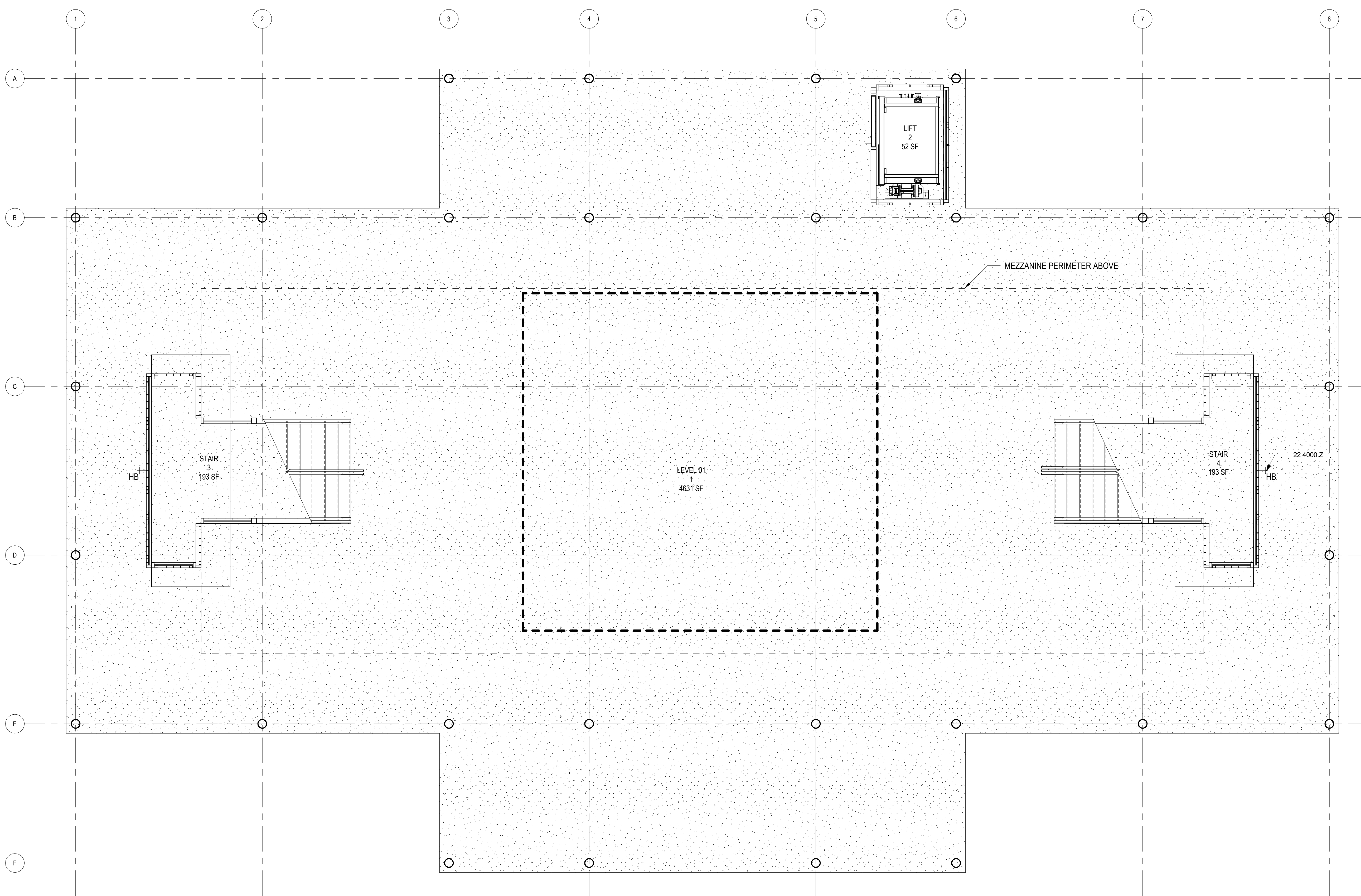
LEVEL 02 - MECHANICAL PLAN

0 4' 8' 12'

1/4" = 1'-0"

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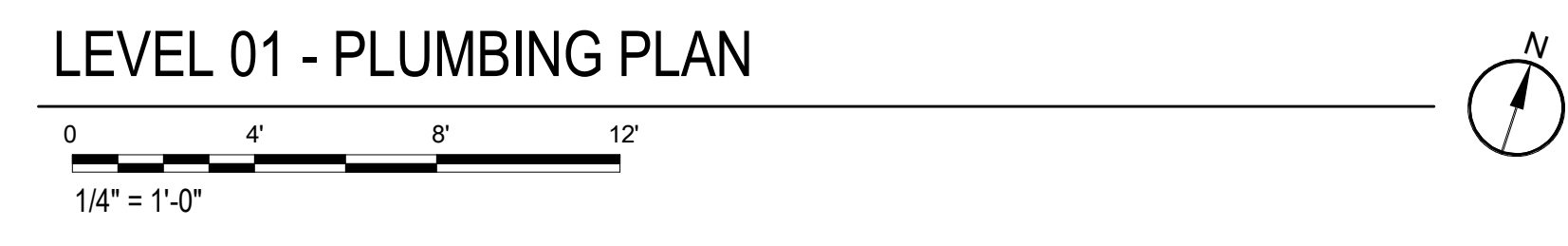
REVISIONS
DELTA DESCRIPTION DATE

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PROJECT PHASE
SCHEMATIC DESIGN

SHEET CONTENTS
LEVEL 01 PLUMBING PLAN

SHEET NO.
A-P.1



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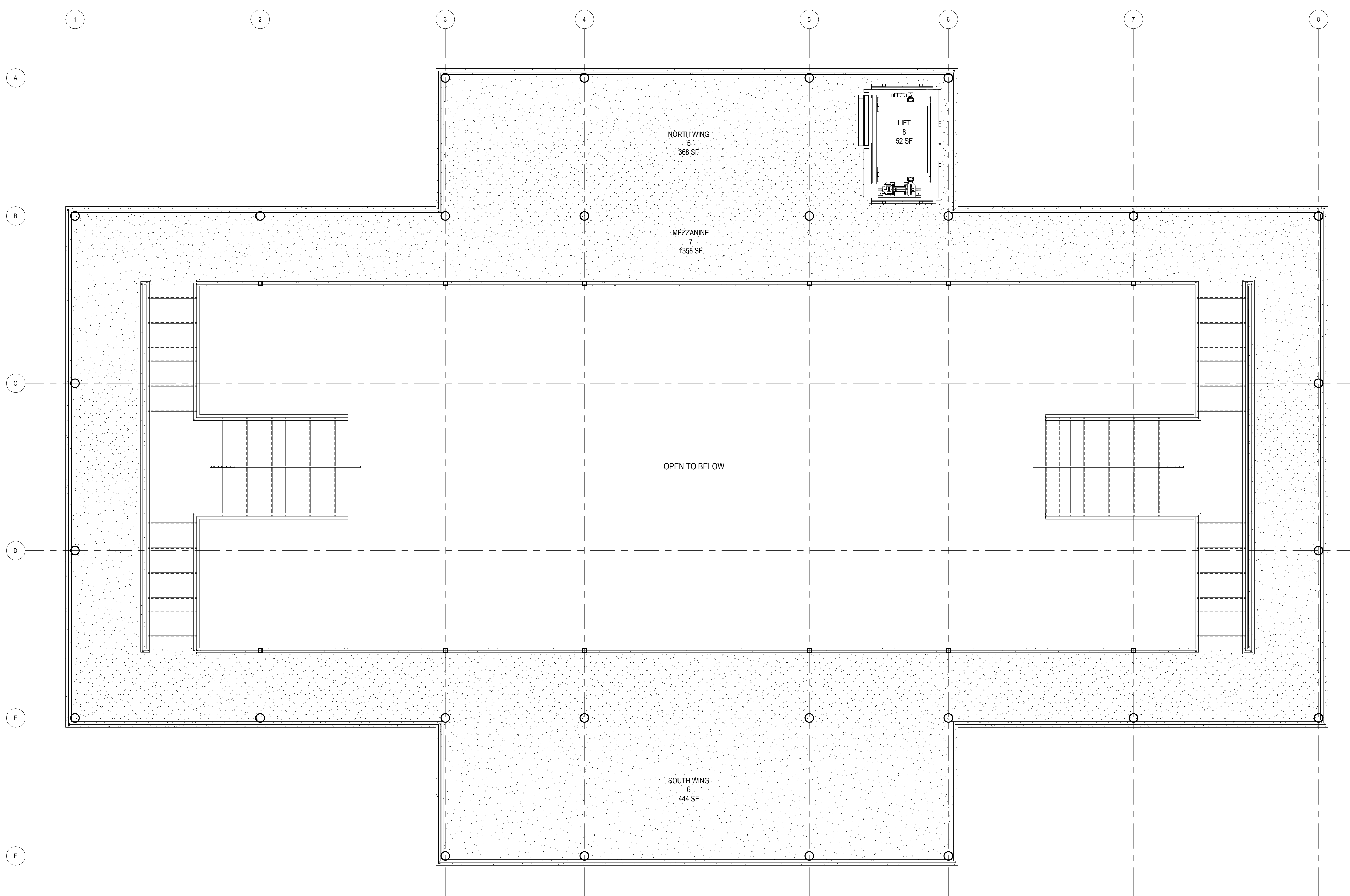
REVISIONS	DELTA	DESCRIPTION	DATE

PROJECT TEAM DRAWN BY
HEALTHCARE RG

PROJECT PHASE
SCHEMATIC DESIGN

SHEET CONTENTS
LEVEL 02 PLUMBING PLAN

SHEET NO.
A-P.2



REFERENCE KEYNOTES

SHEET KEYNOTES

LEVEL 02 - PLUMBING PLAN

0 4' 8' 12'

1/4" = 1'-0"